

Region of Queens Municipality Regular Council
Tuesday, November 14, 2023
9:00 a.m.

Agenda

1.0 Call to Order

2.0 Changes / Approval of Agenda

3.0 Presentation

4.0 Tabling of Petitions

- 4.1 Main Street – Traffic and Speed Issues from Court Street to School Street and from School Street up to Waterloo Street
- 4.2 Main Street – Traffic and Speed Issues from School Street to Fort Point Lighthouse Park (the Park)

5.0 Public Question / Comment Session

6.0 Approval of Minutes

- 6.1 Regular Council – October 24, 2023

7.0 Recommendations

- 7.1 Planning Advisory Committee Appointments
- 7.2 Solid Waste Tipping Fee Waiving
- 7.3 Grouped Dwellings in Summerville Centre by Development Agreement
- 7.4 Police Advisory Board Members
- 7.5 Diversity and Inclusion Action Team
- 7.6 South Queens Outdoor Pool Project
- 7.7 South Queens Wastewater Treatment Facility UV System Upgrade
- 7.8 Community Investment Fund – 2023/2024 – Hunts Point Community Hall Association

8.0 Discussions

- 8.1 Quarter Two Financial Statements
- 8.2 Town Hall Arts & Cultural Center – HVAC System

9.0 In-Camera Items

- 9.1 Contract Negotiations
- 9.2 Contract Negotiations

10.0 Adjournment

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One of the routes of the South Shore Regional Centre for Education school bus routes includes a Mon-Fri pickup and drop-off in front of the Perkins House Museum (as well as a secondary location on Lower Main Street). Parents and children loading on and off the bus on this busy part of the Street.

During the work week, there is a large number of local contractors with trailers (and recently working dump trucks) that use this route (*along Main Street and then up School Street*) as the key thoroughfare to reach the Yard Waste site in Western Head.

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NAME	ADDRESS	SIGNATURE
Lois Fiander	115 School St. Liverpool	Lois Fiander
Patricia Sadoway	102 School St.	Patricia Sadoway
W. Sadoway	"	
Brenda Kay Janel	92 School St.	Brenda Kay Janel
MARTIN Raymond	65 " "	Martin Raymond
Logan Beaton	50 Main St.	Logan Beaton
Jean Beaton	50 Main St	Jean Beaton
Jane Payzant	34 Riverside Dr.	Jane Payzant

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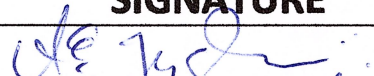
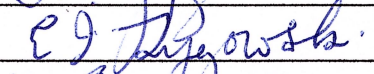

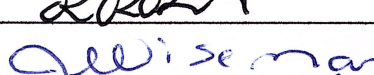
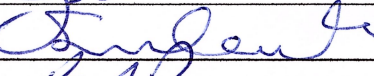
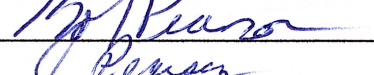
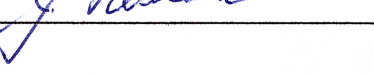

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NAME	ADDRESS	SIGNATURE
Amy Zygosowski	19 Fort Point Lane	
Edmund Zygosowski	19 Fort Point Lane	
TINA MOOREY	28 RIVERSIDE DR	
ROY RAYZANT	34 RIVERSIDE DR	
Janice Wiseman	7 Fort Point Lane	
Dusan Clarke	28 Riverside Dr.	
BOB PEARSON	5 RIVERSIDE DR	
JACQUIE PEARSON	5 RIVERSIDE DR	

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NAME	ADDRESS	SIGNATURE
Anna Dunlop	11 Riverside Dr.	Anna B. Dunlop
Carl Dyer	18 Riverside	Carl Dyer
Carl Dyer	4 Main	Carl Dyer
LORIS AZZANO	10 MAIN ST	Loris Azzano
CAROL FINES	10 MAIN ST	Carol Fines
Jane Stevenson	17 Main St	Jane Stevenson
RAIG HARDING	19 Main St	Raig Harding
TRACY MacKinnon	32 Main St	Tracy MacKinnon

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NAME	ADDRESS	SIGNATURE
Wanda Winant	75 School St.	Wanda Winant
Deborah Guilmain	85 School St	Deborah Guilmain
Jared Wigglesworth	101 School St	Jared Wigglesworth
John van Rooyen	103 School St.	John van Rooyen
Ryan Henry	111 School St	Ryan Henry
JIM BENTON	111 SCHOOL ST	JIM BENTON
Jane Thies	121 School St.	Jane Thies
Bev Kleinjan	122 School St	Bev Kleinjan

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ROY ALTHOUSE	49 School St	R. Althouse
ERIC THOMSON	49 School St	E. Thomson
DAVID NECKERSON	40 SCHOOL ST	D. Necker
STANLEY MACLEOD	36 SCHOOL ST.	S. Macleod
HOLLY GAY-LAUMIERE	3A School St.	Holly Gay-Laumiere
GORID MARSHALI	57 School St	G. Marshall
Cathy Bowers	57 School St	C. Bowers
Dave Winant	75 School St	Dave Winant

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NAME	ADDRESS	SIGNATURE
Marsha Crawford	137 Main St Liverpool	M Crawford
Shelley Gillis	4 Reese St, Liverpool	Shelley Gillis
MARTIN GILLIS	4 REESE ST, Liverpool	Martin Gillis
Erika Rosenthal	126 Main Str. Liverpool	Erika Rosenthal
Anvon Rosenthal	126 Main Str. Liverpool	Anvon Rosenthal
ANNE KRISTINE PEARSON	126 Main St, Liverpool	Anne Kristine Pearson
Julie Petrella	120 Main St Liverpool	Julie Petrella
Don Petrella	120 Main St Liverpool	Don Petrella

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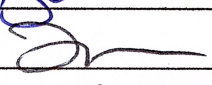
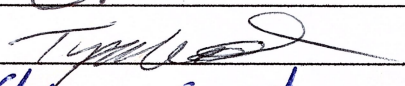
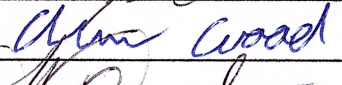

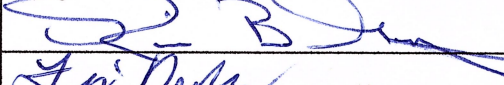
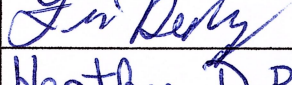
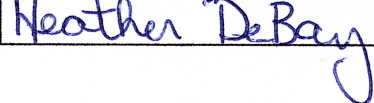
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Tanya Wood	137 Main Street	
Tanya Wood	132 Main St.	
Alicia Wood	132 Main St.	
Maryhelen Conahan	114 Main St	
Colin Gray	114 MAIN ST.	
Francis DeBay	50 School St	
Heather DeBay	50 School St	

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Christine McClearn	95 Main St.	<i>C. McClearn</i>
George McClearn	95 Main St	<i>G. McClearn</i>
Vanessa Legge	88 main st Liverpool	<i>Vanessa Legge</i>
S&F PERCY	96 Main ST	<i>S&F Percy</i>
David Ross	96 Main ST	<i>D. Ross</i>
Jan Coffey	112 Main St Liverpool	<i>Jan Coffey</i>
LARRY GIBBONS	112 MAIN ST LIVERPOOL	<i>Larry Gibbons</i>
ROLFE JONES	127 MAIN ST.	<i>R. Jones</i>

We, the concerned residents of Main Street and School Street, are writing to urgently bring several critical matters to your attention, both of which pose significant risks to our neighbourhood's safety, particularly along Main Street from Court Street to School Street and from School Street up to Waterloo Street.

Firstly, Upper Main Street (*defined here as Court Street to School Street*) is both a residential and business thoroughfare. As such there are two primary businesses – The Raddall Dental Clinic and The Perkins House Museum that rely on street parking for their clients and guests to use. They need access to parking spots which exist on the south side of the street and some need to cross the street for appointments.

Main Street is officially designated as a "Historic Walking Tour Street" and during the months of May through October, there is a very large influx of visitors walking this street end to end on a daily basis. In addition, Main Street is one of the most used streets in Liverpool for "community" walkers. We all daily observe citizens of all ages walking Main Street. And one of the objectives of the Region of Queens Physical Activity Strategy states: Promote safe places to walk, bike and paddle.

One of the routes of the South Shore Regional Centre for Education school bus routes includes a Mon-Fri pickup and drop-off in front of the Perkins House Museum (as well as a secondary location on Lower Main Street). Parents and children loading on and off the bus on this busy part of the Street.

During the work week, there is a large number of local contractors with trailers (and recently working dump trucks) that use this route (*along Main Street and then up School Street*) as the key thoroughfare to reach the Yard Waste site in Western Head.

Lastly, after normal business hours and on weekends, the Upper part of Main is favoured as the starting point of a raceway of sorts with certain types of vehicles of which most end up on Lower Main Street with Fort Point Park as their destination. Much of the time these vehicles travel beyond highway speed limits. In addition, due to the types and models of the vehicles, the noise is well beyond a normal car.

Of equal importance is the intersection at School Street and Main Street which has become a significant hazard for both pedestrians and vehicles. Near misses occur frequently due to visibility issues, inadequate stops and improper turns, substantially elevating the risk of collisions with both pedestrians and vehicles. Despite previous safety assessments conducted by staff, the ongoing incidents observed by the undersigned cannot be overlooked.

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Stephanie Wiles	38 Main	Stephanie Wiles
Susan Thorne	56 Main	R. Z. Thorne

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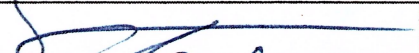
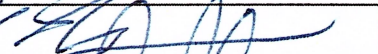
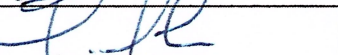
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NAME	ADDRESS	SIGNATURE
Jeth Coll	22 Riverside A	
BARRIE CRUISE	31 MAIN ST	
Nick Longo	57 Main St.	
Carol Barber	63 Main Street	C. Barber

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Cathy Bowers	57 School st	C. L. Bowers
Wanda Winant	75 School St.	Wanda Winant
Dave Winant	75 School St	Dave Winant
Deborah Guilmain	85 School St	Deborah Guilmain
Tareed Wigglesworth	101 School St	Tareed Wigglesworth
John van Rooyen	103 School St.	John van Rooyen
Lynna Clancy	111 School St	Lynna Clancy
SIM BENTON	111 School St	Sim Benton
Jane Thies	121 School St.	Jane Thies
Bev Klingja	122 School St	Bev Klingja
Patricia Sadoway	102 School St.	Patricia Sadoway
M. Sadoway	"	
Beulah-Jane Donald	92 School St.	Beulah-Jane Donald
MARTIN Raymond	65 " "	Martin Raymond
Jean Beaton	50 Main St	Jean Beaton

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NAME	ADDRESS	SIGNATURE
Marilyn Crawford	137 Main St Liverpool	Marilyn Crawford
MARTIN GILLIS	4 REESE ST. LIVERPOOL	Martin Gillis
Shelley Gillis	4 Reese St, Liverpool	Shelley Gillis
Erika Rosenthal	126 Main Str. Liverpool	Erika Rosenthal
Avron Rosenthal	126 Main Str. Liverpool	Avron Rosenthal
ANN KRISTINE PEARSON	126 Main Str, Liverpool	Ann Kristine Pearson
Julie Petrella	120 Main St, Liverpool	Julie Petrella
Don Petrella	120 Main St Liverpool	Don Petrella
Christine McCleave	95 Main St, Liverpool	Christine McCleave
George McCleave	95 Main St Liverpool	George McCleave
Vanessa Legge	88 Main St, Liverpool	Vanessa Legge
Jeff Percy	96 Main St Liverpool	Jeff Percy
David Ross	96 Main St Liverpool	David Ross
Jan Coffin	112 Main St Liverpool	Jan Coffin
LARRY GIBBONS	112 MAIN ST. LIVERPOOL	Larry Gibbons

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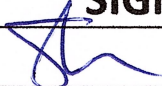

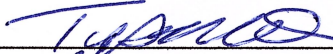
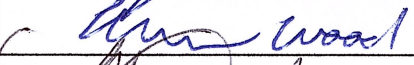

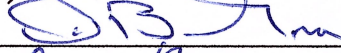
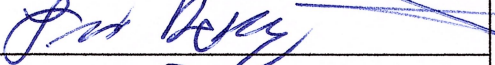

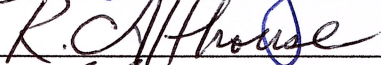




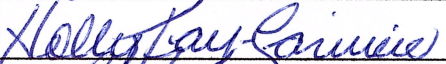

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SUSAN MCCIBBIN	127 Main Street	
Tanya Wood	132 main Street	
Tyler Wood	132 Main st.	
Alena Wood	132 main St.	
Marylou Conohan	114 main st	
J. B. Thon	114 MAIN ST.	
Francis DeBay	50 School St	
Heather DeBay	50 School St	
Roy Althouse	49 School St	
ERYX THOMSON	49 School St	
DAVID NECKERSON	40 SCHOOL ST	
SHARON McLEOD	35 school ST	
WOLFE JONES	127 Main St	
Holly Jay-Laviviere	34 School St.	
GORD MARS HALL	57 School	

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Lois Fiander	115 School St. Liverpool	Lois Fiander

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Margo Walsh-Learman	67 Main Street	M Walsh-Learman
Sandra Zinn	81 Main St.	Sandra Zinn
Janice Reynolds	82 Main St.	Janice Reynolds
Shirley Morrison	76 main st	Shirley Morrison
Albertha Lynne Smart	77 Main St.	Albertha Lynne Smart
Sara Runkel	71 Main St. Runkel	Sara Runkel
Ray: Carol Baker	63 Main St.	Carol Baker
Brenda Warren	66 Main St.	Brenda Warren
DR Susan Thorne	56 Main St.	Susan Thorne
Nicholas Lewis	57 Main St.	Nicholas Lewis

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Bill & Liz Raine	70 Main St	
John Druzina	49 Main St	
Tana Druzina	49 main st	

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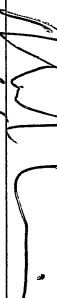



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NAME	ADDRESS	SIGNATURE
Mark Vincent	7 Fort Point	
Amy Zygorski	19 Fort Point	
S. Zygorski	19 Fort Point Lane	
C. Collins	22 Riverside Dr.	

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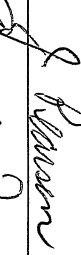



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Jane Stevenson	17 Main St	
CAROL LORIS	10 Main St	
CINDY DYER	4 Main St.	
GAIL DYER	18 Riverside Dr.	
BOB PEARSON	5 RIVERSIDE DR	
JACQUE PEARSON	5 RIVERSIDE DR	
ANNA DONLON	11 RIVERSIDE DR	
TINA MAREY	28 RIVERSIDE DR	
ROY PAYZANT	34 RIVERSIDE DR.	

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CECILE FAIVH - SUSAN CRAWFORD	58 Main St	
Logan Beaton	50 Main St.	
Joyce Muddern	39 Main St	* Joyce Muddern
Stephanie Wiles	38 Main St	Stephanie Wiles
* R.K. McKimmon	32 Main St	* R.K. McKimmon
Michelle Verge	31 Main St #1	Michelle Verge
PARULIE WELCH	31 Main St #3	
RAIIE STARDING	31 Main St	
Norma Dence	16 Main St	Norma Dence

APPENDIX A



APPENDIX B





Region of Queens Municipality Regular Council

Tuesday, October 24, 2023 6:00 p.m.

Seaside Centre, 1066 Eastern Shore Road, Eagle Head

Minutes

Present: Mayor Darlene Norman, Chair
Deputy Mayor Jack Fancy
Councillor David Brown
Councillor Vicki Amirault
Councillor Kevin Muise
Councillor Ralph Gidney
Councillor Maddie Charlton
Councillor Carl Hawkes
Dan McDougall, Interim CAO
Christine Watson, Admin. Assistant – Planning & Development

1.0 Call to Order

Mayor Norman called the meeting to order at 6:00 p.m.

2.0 Changes / Approval of Agenda

Mayor Norman added under Discussion, Item 8.3 Municipal Reform Bill.

It was moved by Councillor Gidney and seconded by Councillor Muise that the Agenda be approved as amended.

MOTION CARRIED unanimously.

3.0 Presentation

There were no presentations to come before this meeting.

4.0 Tabling of Petitions

Deputy Mayor Fancy stated a petition was received from residents from School Street in Milton, Queens County, who would like to have the road paved and repaired between #68 and #76 before winter 2023.

5.0 Public Question / Comment Session

Janice Wentzell – 52 Haughns Road, Brooklyn – Ms. Wentzell welcomed Council to the Seaside Center and for their support.

She commented that she heard that Mr. Kelly, who is building a house on Eagle Head Beach, is putting armour rock on the beach and is concerned about the impact this will have, not only to the beach but to the surrounding homes. She asked if the Region was aware of his intentions, if he is allowed to do this, and is he required to have a permit. Mayor Norman stated this is not in a municipal jurisdiction and suggested she contact Mike MacLeod, Director of Planning and Development.

6.0 Approval of Minutes

6.1 Regular Council – October 10, 2023

It was moved by Councillor Brown and seconded by Councillor Hawkes:

THAT the minutes of the Regular Council meeting held October 10, 2023 be approved as circulated.

MOTION CARRIED unanimously.

7.0 Recommendations

7.1 Fixed-roof Overnight Accommodation in South Brookfield

It was moved by Councillor Charlton and seconded by Councillor Hawkes:

THAT Council of Region of Queens Municipality give notice of its intention to enter into a development agreement with Jasmine and Matthew Mallay to allow for a fixed-roof overnight accommodation operation, consisting of eight (8) rental units, on property identified as PID #70191937 and located on Highway 8 in South Brookfield.

AND THAT a Public Hearing be held on November 28, 2023 in the Council Chambers of the Municipal Building, 249 White Point Road in Liverpool, NS, at 6:00 p.m.

Mike MacLeod, Director of Planning & Development, stated an application to enter into a development agreement that would allow for the establishment of a new fixed-roof overnight accommodation on a vacant parcel of land in South Brookfield has been received. A copy of the application is attached to the staff report.

The property is zoned as Lakeshore Residential (SR) under the Land Use Bylaw (LUB). This use is not permitted as of right in this zone. However, Council has made provision in the Municipal Planning Strategy (MPS) to establish policies which states that Council shall consider proposals for accommodations and campgrounds in the Lakeshore Residential Zone by development agreement.

As with all development agreements, the MPS has also established criteria which Council takes into consideration when evaluating development agreement proposals. This policy is 6-21 and has been included in the staff report.

The subject property is approximately 19 acres with approximately 1,500 feet of frontage on Highway 8. The surrounding area is primarily low density residential and located on a provincially owned and maintained public road. There are no municipal services in this area. This development would require an on-site sewage disposal system and well.

Two options for Council's decision are:

1. Maintain status quo (deny development agreement request), or
2. Enter into a development agreement with Jasmine and Matthew Mallay to allow for a fixed-roof overnight accommodation operation, consisting of eight rental units, on subject property.

Staff are of the opinion that this development will have minimal impact and that sufficient terms and conditions can be incorporated into a development agreement to mitigate any issues.

The Planning Advisory Committee reviewed the application on October 11, 2023 and are in favour of entering into a development agreement. A copy of the Draft Agreement was included with the staff report.

MOTION CARRIED unanimously.

8.0 Discussions

8.1 Planning Advisory Committee Appointments 2023

Director MacLeod stated under the Municipal Government Act municipalities can establish a Planning Advisory Committee (PAC) by administer policy. Policy 60 – Planning Advisory Committee was adopted by Council in 2003.

The Policy sets out the criteria for membership of the Committee which is that there shall be three members of Council and one representative from each of the electoral districts. The Policy also sets out that initially the Committee appointments is half of the members shall be appointed for a one year term and the other half to be appointed for a two year term. This staggered appointment to the Committee was intended to maintain a degree of consistency and knowledge, and so we are not appointing a new committee every year.

Districts 2, 4 and 6 members were appointed for a one-year term in 2002 and members for Districts 1, 3, 5 and 7 were appointed for a two-year term. Committee members of Districts 2, 4 and 6 expire October 31, 2023.

There are two options for Council to consider:

1. Recommend that Zenia Horton – District 2; Mary White – District 4; and Pamela Brennan – District 6; each be appoint to the Planning Advisory Committee for a term to expire on October 31, 2025; or
2. Recommend that Staff advertise for expressions of interest to serve on Planning Advisory Committee to represent Districts 2, 4 and 6.

It is the opinion of Staff that the current Committee is a cohesive and productive group and the current members of Districts 2, 4, and 6 have only served a one-year term and a reappointment would be appropriate.

Councillor Gidney asked about the timeframe if we advertise to cover these positions. Director MacLeod stated it would be a minimum of two months.

Councillor Charlton stated she is currently Chair on the Committee and had been introduced to it as a resident. The Committee is complex and takes a long time to understand matters and feels it makes sense to keep these members until 2025. She further stated it is difficult to get members. Councillors Amirault and Brown, and Deputy Major Fancy agreed.

Councillor Hawkes suggested that next year when the other members' terms expire, that there be a posting for new members. Director MacLeod stated for clarity purposes to look at the Policy so that it's clear to limit the number of terms members can be appointed to the Committee. The current Policy has been in place since 2003.

Mayor Norman asked if there are any current members who have been on the Committee for more than 2 two year terms. Director MacLeod stated yes, Mary White – District 4. Everybody that is currently on the Committee went through the formal advertising selection. Councillor Charlton suggested seeking an expression of interest for District 4 only. Director MacLeod cautioned that there is currently nothing in the Policy that states after sitting on the Committee for a number of terms the need to advertise.

Council agreed to have this come forward at the next Council meeting as a recommendation for all three members to be reappointed.

8.2 Council Implementation Report

There were no questions or discussions arising from this report.

Councillor Muise noted the graffiti on the rocks in his area previously discussed has been completed and noted there is left over paint should the issue arise again.

8.3 Municipal Reform Bill

Dan McDougall, Interim CAO, reviewed the Provincial-Municipal Service Exchange Agreement summary proposal dated July 31, 2023

from the provincial government after having discussions and negotiations with the NSFMC committee. The overall intent of the process was to consider the appropriate roles and responsibilities of the municipal and provincial government and to provide clarity, reduce overlap, and support shared jurisdictions.

The impact on the Region of Queens Municipality is broken down by each of the elements.

Municipal Financial Capacity Grant (MFCG) (formerly known as the Equalization Grant) – The changed the formula for how the grant was calculated but operates the same way as before. It looks at all municipalities and calculates what the standard expenditures for core municipal services look like for similar types of municipalities and then looks at the tax base. They look at the ability to pay those expenditures, compares the two, and determines if your tax base is strong enough to provide those services or needs operating funding to bring you up to the same tax base. It is a complex formula. It has been updated and have broken apart commercial assessment from residential assessment. Commercial is treated at a higher value. The impact for the new formula for RQM would be an annual funding amount of \$1.34 Million.

Corrections – RQM annually transfers money to the Province for Corrections. The Province will now absorb these costs and save the municipality approximately \$175,000 annually.

Obsolete Schools – Prior to 1981 schools were under the municipality. The Province will assume ownership of all pre-1981 schools closed after the Service Exchange is implement and Municipalities will give given first right of offer.

Housing – RQM annually transfers a percentage of the operating deficit to the Province for costs associated with public housing. The Province will now absorb costs associated with losses and will save the municipality approximately \$138,000 annually.

Infrastructure Funding – The Province proposed to create a new infrastructure fund which will be an application based program. The Province is proposing to put \$15 Million in for municipalities to apply to.

Roads – The Province is proposed two funding programs for roads. Stream A will be funded up to \$6 Million for 50-50 cost sharing for repaving trunks and routes which are municipally owned. This would be an application program that the municipality could apply for.

Stream B was eliminated but after consultation it was decided to be put aside for future discussion and consideration.

Legislation has been introduced and has generated a lot of interest.

A draft letter to Minister John Lohr, Municipal Affairs & Housing, was circulated for Council's consideration to submit, which provides Council's view on the proposal. The accumulative savings would have an impact of approximately \$440,000 which equates to 4 cents on the tax rate, both residential and commercial. Council can decide during budget discussions how to use these savings. Council agreed to have staff submit the letter.

9.0 In-Camera Items

It was moved by Councillor Gidney and seconded by Councillor Brown that the proceedings go In-Camera at 6:40 p.m. to discuss the following:

9.1 Contract Negotiations

MOTION CARRIED unanimously.

It was moved by Councillor Charlton and seconded by Councillor Hawkes that the proceedings exit In-Camera at 7:14 p.m.

MOTION CARRIED unanimously.

10.0 Adjournment

The meeting adjourned at 7:14 p.m.

Mayor Darlene Norman, Chair

Dan McDougall, Interim CAO

Christine Watson, Administrative Assistant – Planning & Development

Date Approved: _____

Region of Queens Municipality Staff Report

7.1

To: Council

From: Mike MacLeod, Director of Planning and Development

Date: November 14, 2023

Re: Planning Advisory Committee

Background

Section 200 of the Municipal Government Act sets out provision whereby Council may establish a Planning Advisory Committee (PAC) to advise Council regarding the preparation and amendment of planning documents and planning matters generally. Council adopted Administrative Policy 60 – Planning Advisory Committee in 2003.

The Policy sets out membership for the Committee, and is as follows:

- 1). There shall be three (3) members of Council appointed to the PAC;
- 2). The public appointed members shall consist of one (1) representative from each of the electoral districts in the Region of Queens Municipality;
- 3). One half of the members of the Planning Advisory Committee shall be appointed for a one (1) year term, with the remaining members being appointed for a two (2) year term.

The intention of clause 3 was to stagger the initial terms of the Committee members so that Council was not potentially appointing an all new committee every two years. This helps in maintaining a degree of knowledge and consistency.

In the fall of 2022, advertisements were placed for expressions of interest in serving on PAC (for all Districts) and from that, the current members were selected by Council. The members for Districts 2, 4 and 6 were appointed for a

one year term and members for Districts 1, 3, 5 and 7 were appointed for a two year term.

The term for Districts 2, 4 and 6 expires on October 31, 2023 and it should be noted that the three current members have expressed an interest in re-offering to serve on the Committee.

Options:

1. Recommend that Zenia Horton - District 2; Mary White - District 4; and Pamela Brennan - District 6; each be re-appointed to the Planning Advisory Committee for a term to expire on October 31, 2025; or
2. Recommend that Staff advertise for expressions of interest to serve on Planning Advisory Committee to represent District 2, District 4, and District 6.

Staff are of the opinion that the current Committee is a cohesive and productive group and feel that since the current members representing Districts 2, 4, and 6 have only served a one year term, that a re-appointment would be appropriate.

Applicable Legislation

Municipal Government Act.

Budget Impacts

N / A

Recommendation

That Zenia Horton - District 2; Mary White - District 4; and Pamela Brennan - District 6; each be re-appointed to the Planning Advisory Committee for a term to expire on October 31, 2025.

Region of Queens Municipality Staff Report

7.2

To: Council

From: Joanne Veinotte, Director of Corporate Services
Adam Grant, Director of Engineering and Public Works

Date: November 14, 2023

Re: Solid Waste Facility Tipping Fee Waiving


Background

The Region of Queens Municipality operates the Queens Solid Waste Facility at 3750 Highway 8 in Milton NS and charges prescribed fees to customers of the facility to offset capital and operating expenses.

Details

The registered owner of the property located at 156 Wolfe Street in Liverpool, PID #70070503, Edith Baker, passed away in November of 2001, leaving no will. Since that time, Marnie and Allan Hatt of 152 Wolfe Street, Liverpool have been looking after the property, and commencing June 2002, they have been paying the property taxes for 156 Wolfe Street. Marnie Hatt is Edith Baker's daughter.

Over the ensuing years, the dwelling on the property has fallen into disrepair and now must be demolished for public safety reasons. Mr. and Mrs. Hatt are seniors and have health challenges, As such, they have very limited financial circumstances and are requesting that council waive the tipping fees for the demolition materials that will be taken to the RQM Solid Waste Management Facility. On October 16, 2023, a letter was written to council and signed by both Marnie and Allen, with the assistance of Angela Green – Administrative Assistant,



again due to limited mobility. They will not be able to attend this meeting due to health and mobility issues.

They have advised they have adequate funds to provide for demolition, site cleanup and transportation to the Queens Solid Waste Facility.

Applicable Legislation

Section 47 (5) of the *Municipal Government Act* sets out that council may make and carry out a contract, perform an act, do anything, or provide a service for which the municipality or the council is authorized by an Act of the Legislature to spend or borrow money.

Budget Impacts

This is an unbudgeted expense and will be charged as an operating expense.

Recommendation

THAT the Council of Region of Queens Municipality waive tipping fees associated with the disposal of demolition materials originating from 156 Wolfe Street, Liverpool.

Communications

A letter will be sent to the applicants confirming the details.



Region of Queens
PO Box 1264
354-3453

Region of Queens Municipality

156 WOLFE ST

Sold To: AH3499

Allen Hatt

Ticket No: **294975**

ORIGINAL

2023-10-20

11:34:58

Truck: ALL1

License:

Product: Mixed C&D Queens

Zone: Region of Queens Municipality

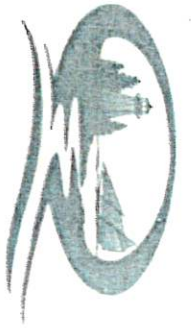
Gross (kg) 24,100

Tare (kg) 18,040

Net (kg) 6,060

Allen Hatt
Signature

*10.017
Metric
tare
= 50.05
+ 685.26
=*



Region of Queens
PO Box 1264
354-3453

Region of Queens Municipality

156 WOLFE ST

Sold To: AH3499

Allen Hatt

Truck: ALL1

License:

Product: Mixed C&D Queens

Zone: Region of Queens Municipality

Ticket No: 294958

ORIGINAL

2023-10-20

09:50:46

Gross (kg) 22,090

Tare (kg) 18,080

Net (kg) 4,010

Signature

Oct 16 / 23

We, Allen + Marnie Hatt, would like to ask Council for their assistance in reducing or waiving the tipping fees incurred at the RQM Solid Waste Management Facility, from the demolition of the dwelling at 156 Wolfe Street in Liverpool. This home was owned by Edith Baker, the mother of Marnie Hatt, who ~~has~~ passed away in

November
2001.

We are not able to financially fund the entire demolition + tipping fees, but would like the property to be safe and up to neighbourhood standards. We have been paying the property tax for 156 Wolfe Street since ~~2001~~ June 2002 after Mrs. Baker passed away without any will in November 2001. Due to our limited financial capacity, we can no longer maintain this, and would be grateful to RQM Council for assistance in correcting the Dangerous + Unsightly property, by allowing the tipping fees from the demolition debris to be reduced or waived. We intend to pay the contractor, Phillip Ingram, for his demolition services.

Marnie Hatt

Marnie Hatt

Allen Hatt

Allen Hatt

Recorded by:

Angela Green, Admin. Asst. RQM

Region of Queens Municipality Staff Report

To: Council

From: Mike MacLeod, Director of Planning and Development

Date: November 14, 2023

Re: Grouped Dwellings in Summerville Centre by Development Agreement

Background

Region of Queens Municipality has received an application to enter into a development agreement that would allow for the establishment of grouped dwellings on a property in Summerville Centre. Property is identified as PID# 70057799. A copy of the application is attached as Appendix A.



Details

The property is zoned as Coastal Rural (R6) under the Land Use Bylaw and has a future land use designation of Residential (RES) under the Municipal Planning Strategy. There is an existing two (2) unit short term rental located on the property and it is the intent of the owner that this use remain. The intent of the proposed development is to construct an additional five (5) long term rental units on the subject property.



Zoning Map

Grouped Dwellings is a use that is not permitted as of right in the R6 Zone. This being said; however, Council has incorporated provision within the Municipal Planning Strategy and Land Use Bylaw whereby it can consider such uses through a development agreement process.

5.5.2 Grouped Dwellings in Rural Zones

Grouped dwellings are a form of residential development in which multiple residential buildings are located on one lot. The development can be owned by one landowner with residential units rented out to individual households, or the land can be owned in common through mechanisms such as condominiums or cooperative housing trusts. In rural areas, this approach to residential development allows for the creation of semi-public services (shared septic systems, shared wells, share amenities, shared "roads", etc.) while at the same time implementing an ownership structure that assigns responsibility for the long-term, sustainable upkeep of these services.

Grouped dwellings could, for example, be used to create cottage developments around lakes or "resort villages" in areas near to traditional resorts. Grouped dwellings can also allow for clustered housing development, in which the average density of the development is similar to a traditional subdivision, but houses are clustered closer together to leave much of the land undisturbed for recreation or conservation purposes. Council intends to allow this form of housing development in rural areas by development agreement.

Policy 5-51: Council shall consider grouped dwelling developments in the Inland Rural Zone, Coastal Rural Zone, Lakeshore Residential Zone, Resort Zone, and Rural Commercial Zone by development agreement, subject to the policies of Section 6.4 and the implementation of a servicing plan to

ensure shared services, such as septic and internal driveways, do not become the maintenance responsibility of the Municipality.

6.4 Development Agreements

6.4.1 Context

A development agreement is a written legal agreement between Council and a property owner. It "runs with the land"; hence, the terms of the agreement do not cease if the land is sold or if the property owner dies.

The development agreement is a mechanism through which Council can oversee the implementation of a development proposal that would not otherwise be permitted by the standards established in the applicable zone. This can allow a proposal to better fit the specific constraints or opportunities provided by a site.

A development agreement allows or limits the development to the use or types of uses actually proposed and outlined in the agreement. This allows Council to have a finer-grained level of control over the proposed development, and to implement specific measures to mitigate potential impacts. To change the development to another use that is not listed in the development agreement would require an amendment to the agreement, which would be evaluated against the policies in this Plan. In accordance with the Municipal Government Act, the types of development that may be considered by a development agreement must be clearly identified in the Plan.

6.4.2 Adopting and Amending Development Agreements

Policy 6-13: Council shall consider entering into a new development agreement where such an agreement is enabled by policies elsewhere in this Plan. Where Council approves a development agreement, the development agreement shall:

- (a) specify the development, expansion, alteration, or change permitted;
- (b) specify the conditions under which the development may occur; and
- (c) set terms by which Council may amend or terminate and discharge the agreement.

Policy 6-14: Council shall not approve or amend a development agreement unless Council is satisfied the proposed agreement is consistent with the enabling policy and the general criteria set out in Policy 6-21.

When evaluating development agreements, Council must be cognizant of the overall goals and policies of this MPS. In particular, it should have regard to the criteria listed in Policy 6-21.

Policy 6-21: Council shall not amend the Land Use Bylaw or approve a development agreement unless Council is satisfied the proposal:

- (a) is consistent with the intent of this Municipal Planning Strategy;

- (b) does not conflict with any Municipal or Provincial programs, bylaws, or regulations in effect in the municipality;
- (c) is not premature or inappropriate due to:
 - (i) the ability of the Municipality to absorb public costs related to the proposal;
 - (ii) impacts on existing drinking water supplies, both private and public;
 - (iii) the adequacy of central water and sewage services or, where such services are not available, the suitability of the site to accommodate on-site water and sewage services;
 - (iv) the creation of excessive traffic hazards or congestion on road, cycling, and pedestrian networks within, adjacent to, or leading to the proposal;
 - (v) the adequacy of fire protection services and equipment;
 - (vi) the adequacy and proximity of schools and other community facilities;
 - (vii) the creation of a new, or worsening of a known, pollution problem in the area, including, but not limited to, soil erosion and siltation of watercourses;
 - (viii) site-specific climate change risks;
 - (ix) the potential to create flooding or serious drainage issues, including within the proposal site and in nearby areas;
 - (x) impacts on known habitat for species at risk;
 - (xi) light pollution and impacts on dark sky views, especially in the vicinity of the Kejimikujik Dark-Sky Preserve;
 - (xii) the suitability of the site in terms of grades, soil and geological conditions, the location of watercourses and wetlands, and proximity to utility rights-of-way; and
 - (xiii) negative impacts on the viability of existing businesses in the surrounding community, including, but not limited to, the risk of land use conflicts that could place limits on existing operational procedures.

The Municipal Planning Strategy also establishes a list of conditions that may be incorporated in a development agreement.

Policy 6-15: Council may specify conditions in the development agreement to bring the proposal into alignment with the enabling policy and the general criteria set out in Policy 6-21. Such conditions may include, but are not limited to, controls regarding:

- (a) servicing;
- (b) the type, location, and orientation of structures;
- (c) the architectural design of structures, including, but not limited to, bulk, scale, height, roof shape, building and cladding materials, and the shape and size and placement of doors and windows;

- (d) the provision of open space and amenities;
- (e) the type, size, and location of signage;
- (f) the type and orientation of exterior lighting;
- (g) management of solid waste, compost, and recycling;
- (h) pedestrian, bicycle, and vehicular circulation;
- (i) connections to existing or planned pedestrian, bicycle, and vehicular networks;
- (j) the location and number of bicycle and vehicular parking and loading spaces;
- (k) access for emergency vehicles;
- (l) the location and type of landscaping, including fences and other forms of screening;
- (m) stormwater management;
- (n) grading and erosion control;
- (o) the emission of noise, odour, light, liquids, gases, and dust;
- (p) the type of materials stored and/or sold on site;
- (q) hours of operation;
- (r) the phasing of development;
- (s) financial bonding for the construction and maintenance of components of the development, including, but not limited to, roads and landscaping;
- (t) mitigation measures for construction impacts;
- (u) time limits for the initiation and/or completion of development; and
- (v) all other matters enabled in Section 227 of the Municipal Government Act.

The process for entering into a development agreement is set out in Section 230 of the Municipal Government Act and requires a public hearing process prior to Council making a decision.

Adoption or amendment of development agreement

- 230 (1) A council shall adopt or amend a development agreement by policy.
- (2) A council shall hold a public hearing before approving a development agreement or an amendment to a development agreement.
- (3) Only those members of the council present at the public hearing may vote on the development agreement or the amendment.
- (4) Upon approving a development agreement or an amendment to a development agreement, the clerk shall place a notice in a newspaper circulating in the municipality stating that the development agreement is approved and setting out the right of appeal.
- (5) The clerk shall file a certified copy of a development agreement or amendment with the Minister when notice of the development agreement or an amendment to it is published.
- (6) Within seven days after a decision refusing to approve a development agreement or an amendment to a development agreement, the clerk shall

notify the applicant in writing, giving reasons for the refusal and setting out the right of appeal.

(7) Amendments to those items in a development agreement that the parties have identified as not substantive, if the substantive items were identified in the agreement, or that were not identified as being substantive, do not require a public hearing. 1998, c. 18, s. 230; 2003, c. 9, s. 60.

Considerations

- PID# 70057799 has a lot area of approximately 26,500 square feet in area, with approximately 200 feet of frontage on Highway 3.
- The area is primarily rural in nature with scattered low density residential development and fixed roof overnight accommodations.
- Highway 3 is a provincially owned and maintained public road.
- No municipal services in vicinity of subject property. Development would require an on-site sewage disposal system and well. Property has been assessed for an on-site sewage disposal system that would accommodate the development.

Potential Options

1. Maintain status quo (deny development agreement request); or
2. Enter into a development agreement with 3328333 Nova Scotia Limited to allow for grouped dwellings, consisting of seven (7) rental units, on property identified as PID#70057799 and located on Highway 3 in Summerville Centre.

Tentative Timeframe

<u>Date</u>	<u>Procedure</u>
November 6, 2023	Planning Advisory Committee
November 14, 2023	Council
November 22, 2023	First Public Notice
November 29, 2023	Second Public Notice
December 12, 2023	Public Hearing
December 12, 2023	Council
December 20, 2023	Notice of Passing
January 10, 2024	Appeal Period Ends

In looking at the use that is being proposed for the property, the property itself and the surrounding area, it is the opinion of Staff that the use of the property for a grouped dwelling consisting of five (5) additional long term rental units will

have minimal impact on the surrounding area. Sufficient terms and conditions can be incorporated into a development agreement to meet the needs of the applicant and also to mitigate potential issues.

The Region's Planning Advisory Committee (PAC) met on November 6, 2023 to review the application and the proposed use of the property. The Committee discussed the application in length, and did have some concerns respecting how this higher density residential development would fit in with the existing single unit residential development in the area. The Committee noted that there is no other higher density residential developments in close proximity to subject property and felt that this development could have a negative impact on the surrounding residential homes. The Committee also had concern over the size of the subject property, at only 26,500 square feet in area, and did not feel that this was suitable to accommodate 5 additional units plus the two existing units. Following discussion, PAC was not comfortable moving forward with the application and recommended in favor of maintaining status quo respecting the use of PID 70057799, thereby denying the request to enter into a development agreement to allow for grouped dwellings, consisting of seven (7) rental units, on the subject property.

Applicable Legislation

Municipal Government Act.

Recommendation

That Council of Region of Queens Municipality maintain status quo respecting the use of PID# 70057799, located at 7371 Highway 3 in Summerville Centre, and to not proceed with application to enter into a development agreement with 3328333 Nova Scotia Limited to allow for grouped dwellings, consisting of seven (7) units on the subject property.

Appendix A

October 22, 2023

Region of Queens Municipality

Liverpool, NS

Dear Wendy/Mike:

Please see my attached submission for development agreement for grouped dwellings on PID#70057799 at 7371 Highway 3, Summerville NS. Currently we have an over/under duplex that we purchased a couple of years ago and are renting these units on a short-term basis.

The existing structure is located on the east side of the oceanfront property leaving the opposite side a prime location for 5 long-term rental units. These will be nicely appointed 2-bedroom, 2 level townhouse units. Initial renderings are attached. Based on the demand we are experiencing for our Milton project, we feel these units will rent very quickly and fit in well with the local surroundings.

We are asking the municipality to grant us the additional unit to qualify for a CMHC mortgage financing option (minimum 5 units required) that will make the project more affordable to finance.

Enclosed is the draft design for the project. Able Engineering has assessed the property and provided specifications and design for a new septic field to accommodate the existing structure and the new units. The site plan takes into account any required setbacks.

We would like to begin construction on these units within the next 6-12 months. I look forward to addressing any questions from you or your team.

Sincerely,

Eric and Dawn Fry



For Internal Use Only
Acceptance Date: _____
Processing Date: _____

Region of Queens Municipality

Planning Amendment and Development Agreement Application



1. Application Type:

- Land Use Bylaw Amendment
- Development Agreement

2. Property Information:

Civic address of subject property - 7371 HIGHWAY 3, SUMMERSIDE NS

Property Identification Number (PID) - 70057799

Present use of subject property - 2 x STR

Proposed Use of subject property - ADDITION OF 5 LTR UNITS SEPARATE FROM CURRENT DWELLING

Existing Lot Size - 26475 SQ'

Existing Lot Frontage - 61.7 METERS

3. Property Owner Information:

Name - 3328333 NOVA SCOTIA LIMITED

Applicant is:

- Owner
- Agent of Owner

Civic Address - _____

Mailing Address (If different from Civic Address) - _____

Telephone Number - 9 _____

Email Address - 6 _____

4. Zoning Information:

Existing Zoning - MAX OF 4 LTR'S.

Proposed Zoning - R6

5. Property Servicing Information:

Water Services -

Municipal System - Existing Proposed

Drilled Well - Existing Proposed

Dug Well - Existing Proposed

Other - _____

Sewer Services -

Municipal System - Existing Proposed

On-site System - Existing Proposed

Other - _____

Access -

Public Road - Existing Proposed

Private Road - Existing Proposed

Other - _____

EXISTING FOR CURRENT
DWELLING, NEW SEPTIC
SYSTEM WILL BE REQUIRED
AND MOST LIKELY ADDITIONAL
WELL.

6. Declaration:

Registered Owner of Property (Please print)

I / We ERIC FRY do solemnly declare that I / We are the current registered owner(s) of the property described in this application. I / We have examined the contents of this application and certify that the information submitted is accurate.

Registered Owner ERIC FRY

Signature [Signature]

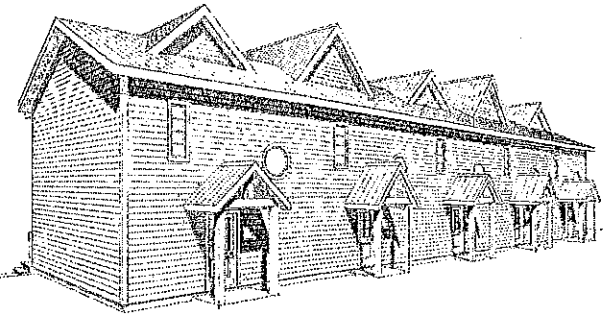
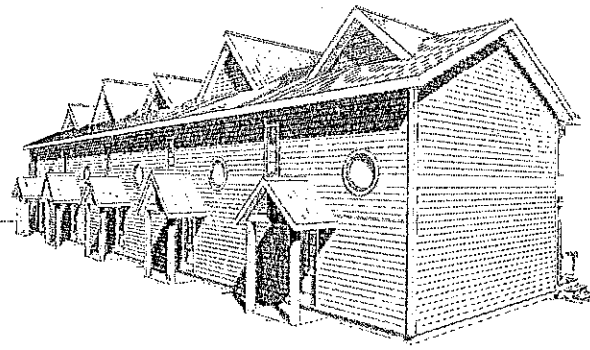
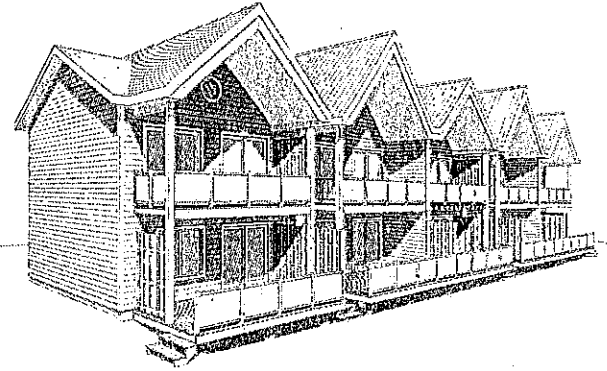
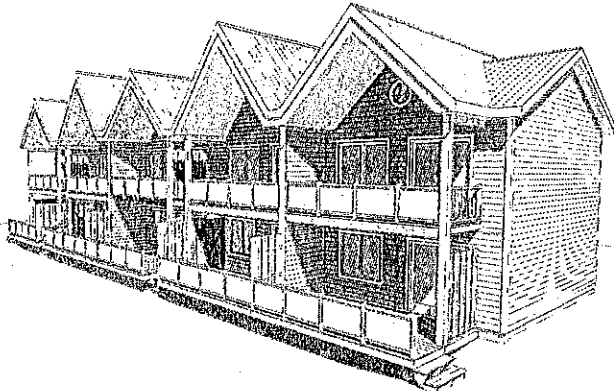
Date Dec 18 / 2023

Registered Owner (if more than one) _____

Signature _____

Date _____

Authorization of Registered Owner (Please print)



B & L
House
Plans

BY EDDY J. LITTLE (B) MAIL CODE

GENERAL NOTES -
 1. **BUILDER QUALIFICATIONS -**
 THIS PLAN IS INTENDED FOR USE BY PERSONS WHOSE INSTALLED WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. **BUILDING CODES -**
 ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA.
 ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC. SHALL BE CONSIDERED AS APPLICABLE FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANY OTHERS.
 IN THE CASE OF HIGH RISE OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR BEAM JOISTS BEYOND THE SCOPE OF THIS PLAN & TABLE, THE CONSULTING ENGINEER IS REQUIRED TO PROVIDE AT THEIR EXPENSE AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. **ERRORS AND OMISSIONS -**
 GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF THESE PLANS FOR THIS PROJECT BUT THERE ALWAYS EXISTS THE SMALL POSSIBILITY FOR ERRORS. IT IS VERY IMPORTANT THAT THE BUYER CAREFULLY REVIEW A CHECKLIST OF DETAILS AND INFORMATION ON THIS PLAN BEFORE COMMENCING CONSTRUCTION. RESPONSIBILITY MUST BE WITH THE BUYER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO B&L HOUSE PLANS PRIOR TO CONSTRUCTION.

4. **B&L HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES OR PROXIMITY TO PROPERTY LINES.**
 5. **CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL ADJACENT TO BEDROOMS AND OTHER ROOMS WHERE FIREPLACE, GAS AND WOOD BURNING APPLIANCES ARE USED.**
 6. **ALL DRIVEWAYS REMAIN THE PROPERTY OF B&L HOUSE PLANS.**

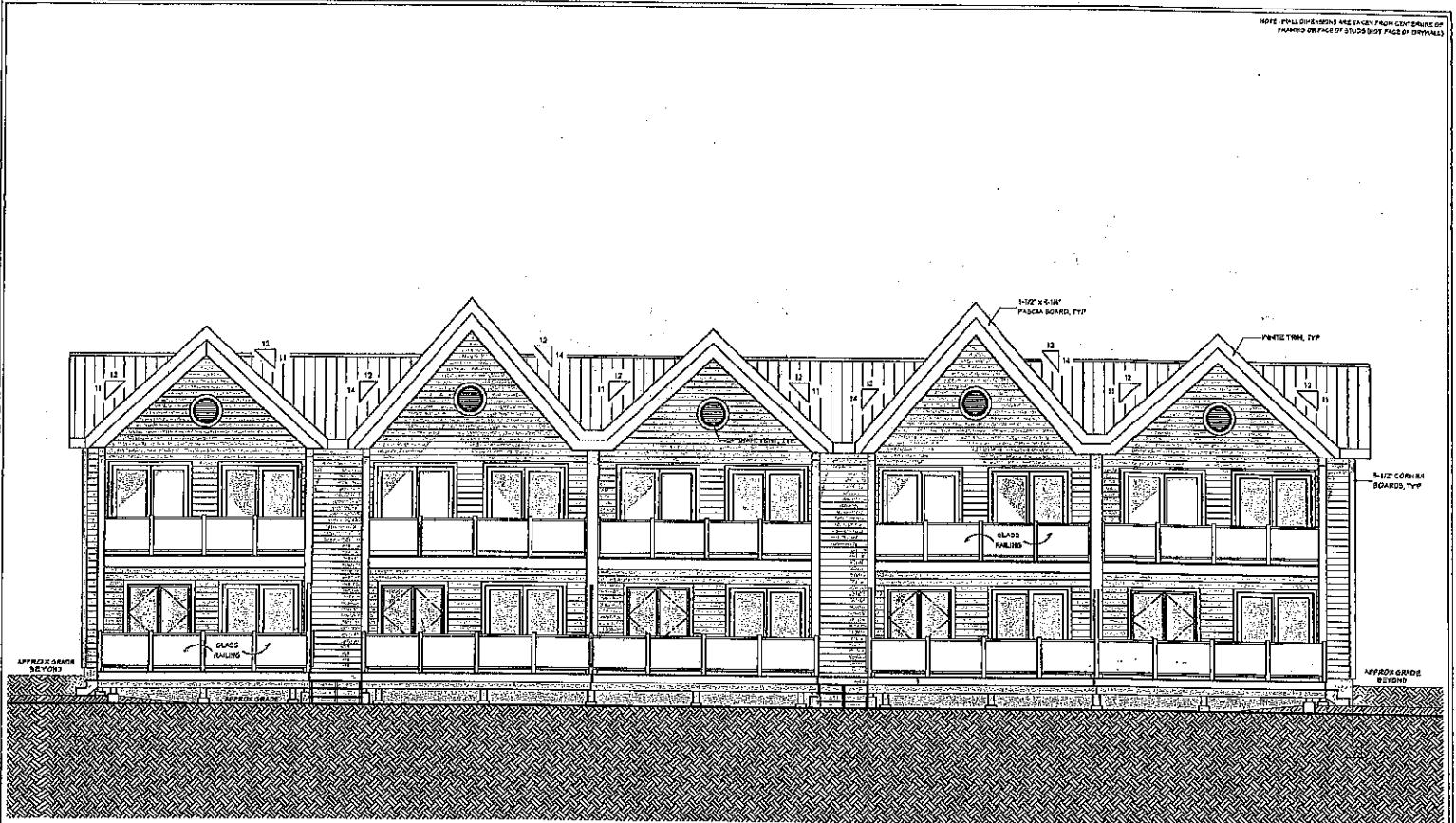
PROJECT NAME -
SUMMERSVILLE
TOWNHOUSE
3D PERSPECTIVES

SCALE: 3/16" = 1'

NO.	REVISION	DATE
1	ISSUED FOR CONY.	NOV 16, 2011
2	ISSUED FOR PLAN	OCT 19, 2011

SHEET PAGE 1 OF 11

NOTE: ALL DIMENSIONS MEASURED FROM CENTERLINE OF FRAMES OR FACE OF STUDIOS UNLESS OTHERWISE SPECIFIED.



B & L
House
Plans

BY: [Signature]
DATE: [Blank]

BY: [Signature]
DATE: [Blank]

BY: [Signature]
DATE: [Blank]

GENERAL NOTES -

1. **BUILDER QUALIFICATIONS -**
THESE PLANS ARE DESIGNED FOR USE BY PERSONS WHO ARE REGISTERED AS ARCHITECTS OR ENGINEERS AND WHO ARE QUALIFIED TO SUPERVISE THE CONSTRUCTION OF THIS STRUCTURE.

2. **BUILDING CODES -**
ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA. ALL LOCAL ORDINANCES, ETC., SHALL BE CONSIDERED AS SPECIFICATIONS FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN HEREON UNLESS OTHERWISE SPECIFIED. IN THE CASE OF HIGH WIND LOADS OR UNUSUAL SITE CONDITIONS, NOTIFY THE ARCHITECT IMMEDIATELY BY LETTER. THE ARCHITECT'S OFFICE SHALL BE ADVISED OF ANY CHANGES TO THESE SPECIFICATIONS BY THE OWNER'S REPRESENTATIVE AT THEIR EXPENSE. AN ENGINEER'S REPORT, PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. **ERRORS AND OMISSIONS -**
GREAT CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS FOR THIS PROJECT, BUT THERE ALWAYS EXISTS THE SMALL POSSIBILITY FOR ERRORS. IT IS VERY IMPORTANT THAT THE BUILDER CAREFULLY REVIEW THESE PLANS AND INFORMATION ON THIS PLAN INCLUDING ALL DIMENSIONS AND NOTES PRIOR TO PROCEEDING WITH CONSTRUCTION. RESPONSIBILITY MUST BE WITH THE BUILDER. HOWEVER, ANY ERRORS OR OMISSIONS SHOULD BE REPORTED IMMEDIATELY TO BAL HOUSE PLANS PRIOR TO CONSTRUCTION.

4. **BAL HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE DEPTH, ETC., OR LIABILITY TO PROPERTY LINES.**

5. **CAPRICH HONSHIRE DETECTORS TO BE INSTALLED ON EACH LEVEL. AN JACKET TO BE INSTALLED AND WIRE STRUNG TO FIREPLACE, GAS AND WOOD BURNING APPLIANCES ARE USED.**

6. **ALL DIMENSIONS REMAIN THE PROPERTY OF BAL HOUSE PLANS.**

PROJECT NAME -
SUMMERVILLE TOWNHOUSE

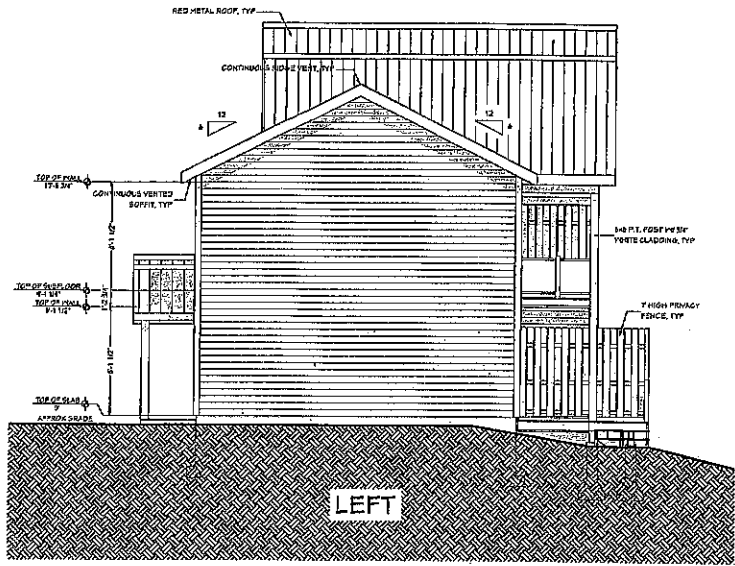
DRAWING NAME -
FRONT ELEVATION

SCALE: 1/8" = 1'

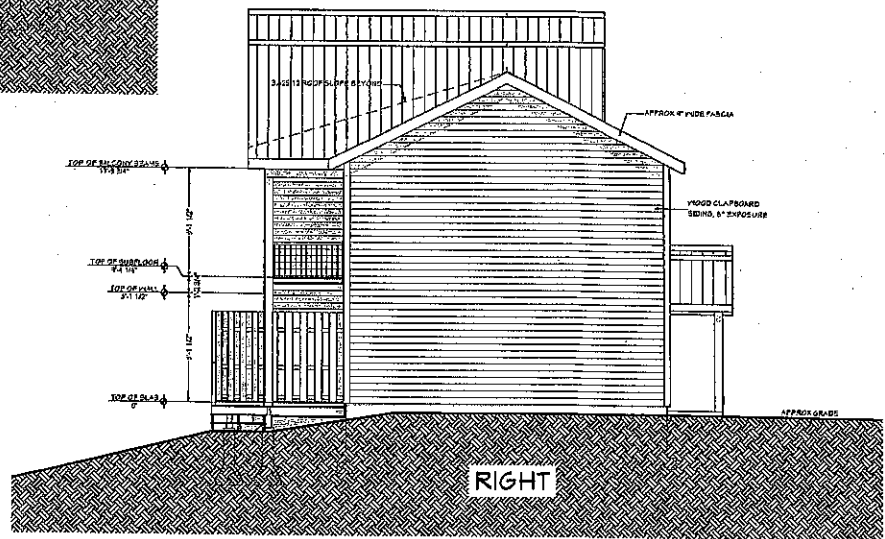
REVISION TABLE			
NO.	REVISION	DATE	
1	ISSUED FOR CONSTRUCTION	MAY 18, 2023	
2	ADDRESS PER PLAN	05/18/23	
3			
4			
5			
6			

SHEET PAGE 1 OF 11

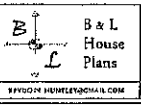
NOTE - WALL DIMENSIONS ARE TAKEN FROM CENTERLINE OF FINISH OR FACE OF BRICK OR TILE OF EXTERIOR



LEFT



RIGHT



GENERAL NOTES -
 1. **BUILDER QUALIFICATIONS -**
 THIS PLAN IS INTENDED FOR USE BY PERSONS WHO ARE QUALIFIED IN ALL ASPECTS WITH GENERALLY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. **BUILDING CODES -**
 ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA, ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC., SHALL BE CONSIDERED AS SPECIFIC NOTICES FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED, IF AND WHERE JURISDICTION OCCURS. IN THE CASE OF HIGH GROUND LOADS OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR OTHER USES BEYOND THE SCOPE OF THIS PLAN, THE OWNER/BUILDER SHALL BE REQUIRED TO PROVIDE AT THEIR OWN RISK AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. **ERRORS AND OMISSIONS -**
 GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF PLANS FOR THIS PROJECT, BUT THERE ALWAYS REMAINS THE SMALL POSSIBILITY FOR ERRORS. IT IS VERY IMPORTANT THAT THE BUILDER CAREFULLY REVIEW & CHECK ALL DETAILS AND INFORMATION ON THIS PLAN INCLUDING DISCREPANCIES FROM THE INFORMATION WITH CONSTRUCTION. RESPONSIBILITY SHALL BE WITH THE BUILDER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO B&L HOUSE PLANS PRIOR TO CONSTRUCTION.

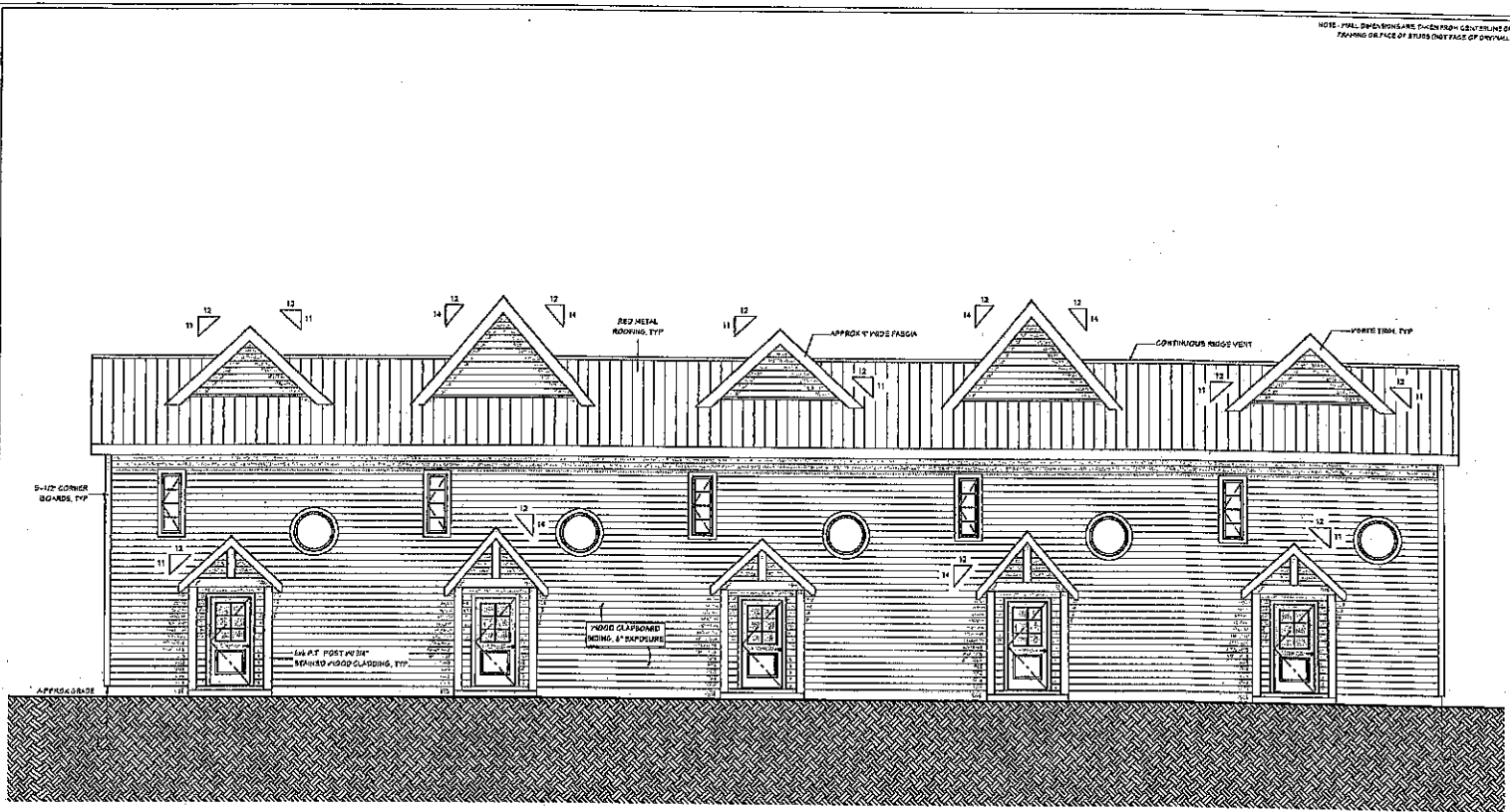
4. **B&L HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR**
 EXISTING SITE CONDITIONS SUCH AS SOLELED FOUNDATION, CHIMNEY, EXISTING STRUCTURES, OR PROPERTY TO PROPERTY LINES.
 5. **CARBONMONOXIDE DETECTORS TO BE INSTALLED ON EACH**
 LEVEL ADJACENT TO BEDROOMS AND WHERE PROPANE FUELED APPLIANCES ARE USED.
 6. **ALL DRAWINGS REMAIN THE PROPERTY OF B&L HOUSE PLANS.**

PROJECT NAME -
 SUMMERSVILLE TOWNHOUSE
DRAWING NAME -
 LEFT ELEVATION
SCALE: 3/16" = 1"

REVISION TABLE		DATE
NO.	DESCRIPTION	DATE
1	DATE THE OWNER	JULY 16, 2023
2	ISSUED FOR PERMITS	NOV 11, 2023

SHEET PAGE 3 OF 11

NOTE: WALL DIMENSIONS ARE TAKEN FROM CENTERLINE OF FINISH OR FACE OF STUDY ON FACE OF EXTERIOR.



B & L
House
Plans

GENERAL NOTES -
1. **BUILDER QUALIFICATIONS -**
THIS PLAN IS INTENDED FOR USE BY PERSONS WHO ARE QUALIFIED IN THE FIELD BY THE USE OF GENERALLY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. **BUILDING CODES -**
ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA.
- ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC., SHALL BE CONSIDERED AS REQUIREMENTS FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN DESCRIBED OR IMPLIED. IF AND WHERE VARIANCES OCCUR, IN THE CASE OF HIGH RISES, LOCAL OR SPECIAL CITY ORDINANCES, NON-STANDARD FOUNDATIONS OR OTHER SITUATIONS BEYOND THE SCOPE OF THIS PLAN, THE OWNER/PLANNER MAY BE REQUIRED TO PROVIDE AT THEIR OWN RISK AND AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

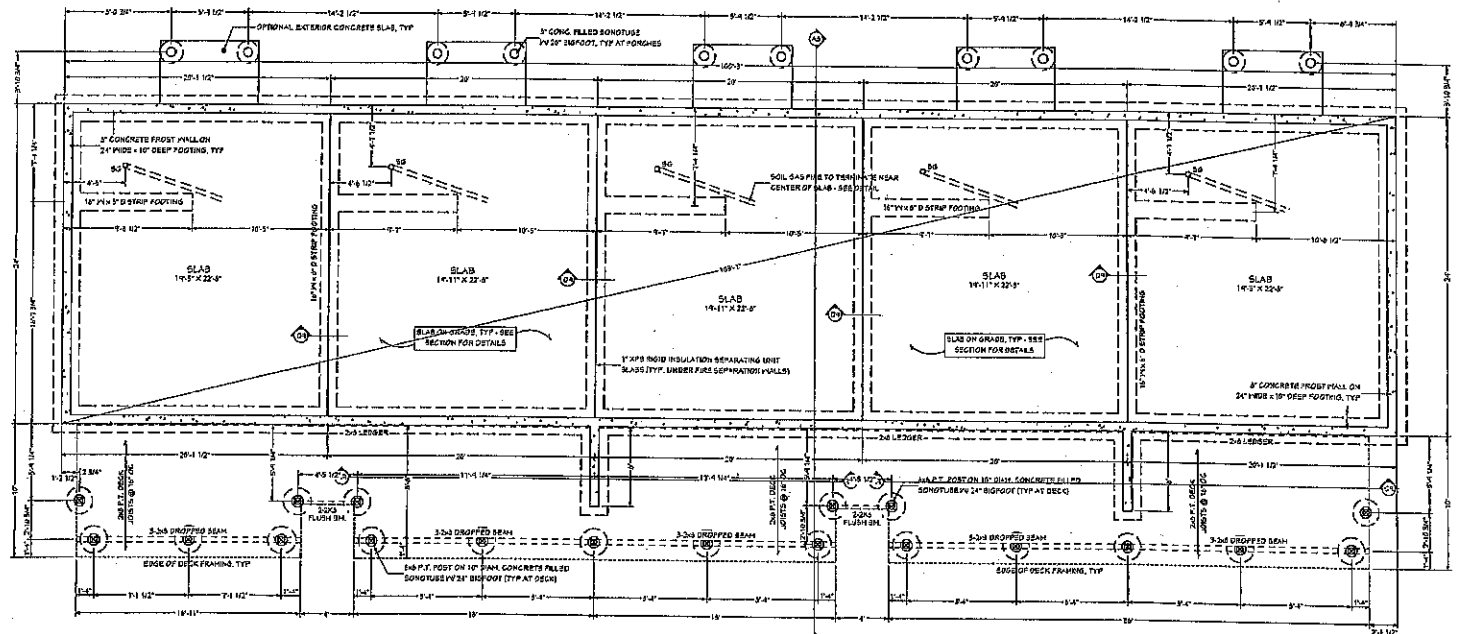
3. **ERRORS AND OMISSIONS -**
GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF PLANS FOR THIS PROJECT, BUT THERE ARE ALWAYS RISKS TO THE QUALITY OF THE DRAWING. IT IS VERY IMPORTANT THAT THE BUILDER CAREFULLY REVIEW & CHECK ALL DETAILS AND INFORMATION ON THIS PLAN INCLUDING MEASUREMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION. RESPONSIBILITY MUST LIE WITH THE BUILDER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO B&L HOUSE PLANS PRIOR TO CONSTRUCTION.

4. **B&L HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES, OR PROXIMITY TO PROPERTY LINES.**
5. **CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL, ADJACENT TO BEDROOMS AND WASH ROOMS. FINISHES, GAS AND WOOD BURNING APPLIANCES USED.**
6. **ALL DRAWINGS REMAIN THE PROPERTY OF B&L HOUSE PLANS.**

PROJECT NAME:
SUMMERVILLE TOWNHOUSE
DRAWING NAME:
REAR ELEVATION
SCALE: 3/16" = 1'

PROVISION TABLE			
NO.	REVISION	DATE	
1	ISSUED FOR PERMITS	MAY 14, 2023	
2	ISSUED FOR PERMITS	MAY 14, 2023	

NOTE: ALL DIMENSIONS ARE TAKEN FROM CENTERLINE OF TYPICAL STRIPS OF BRICK (SHOWN FACE OF BRICK WALL)



- FOUNDATION NOTES -**
1. ALL LUMBER USED IN EXTERIOR APPLICATIONS TO BE PRESSURE TREATED
 2. EXPOSED JOIST HANGERS & OTHER METAL HARDWARE TO HAVE AN APPROPRIATE PROTECTIVE COATING DESIGNED TO RESIST CORROSION
 3. ALL FRAMING TO BE PROTECTED FROM DIRECT CONTACT WITH CONCRETE



GENERAL NOTES -

1. BUILDER SHALL VERIFY THAT THIS PLAN IS INTENDED FOR USE BY PERSONS WHO KNOWLEDGEABLY AND FAIRLY WITH GENERALLY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

1. BUILDING CODES -
 ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA.
 ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC., SHALL BE CONSIDERED AS SUPPLEMENTARY TO THE NATIONAL AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN OR DESCRIBED ON THIS PLAN, P AND WHERE VARIANCES OCCUR IN THE CASE OF HIGH WIND LOADS OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR BEAM ASSES BEYOND THE SCOPE OF THIS PLAN & TABLES, THE OWNER/BUILDER MAY BE REQUIRED TO PROVIDE AT THEIR EXPENSE AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

2. ERRORS AND OMISSIONS -
 GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF THIS PLAN FOR THIS PROJECT, BUT THERE ALWAYS EXISTS THE POSSIBILITY OF SUCH ERRORS. IT IS THE RESPONSIBILITY OF THE SUBMITTER TO CHECK ALL DETAILS AND INFORMATION ON THIS PLAN INCLUDING OBTAINING ALL PERMITS AND PROCEEDING WITH CONSTRUCTION. RESPONSIBILITY MUST LIE WITH THE SUBMITTER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO B&L HOUSE PLANS PRIOR TO COMMENCEMENT.

3. B&L HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES, OR PROXIMITY TO PROPERTIES LINES.

4. CAVED-IN OR COLLAPSED DETECTORS TO BE INSTALLED ON EACH LEVEL ADJACENT TO REEDGAS AND WHERE PROPANE APPLIANCE, GAS AND OTHER BURNING APPLIANCES ARE USED.

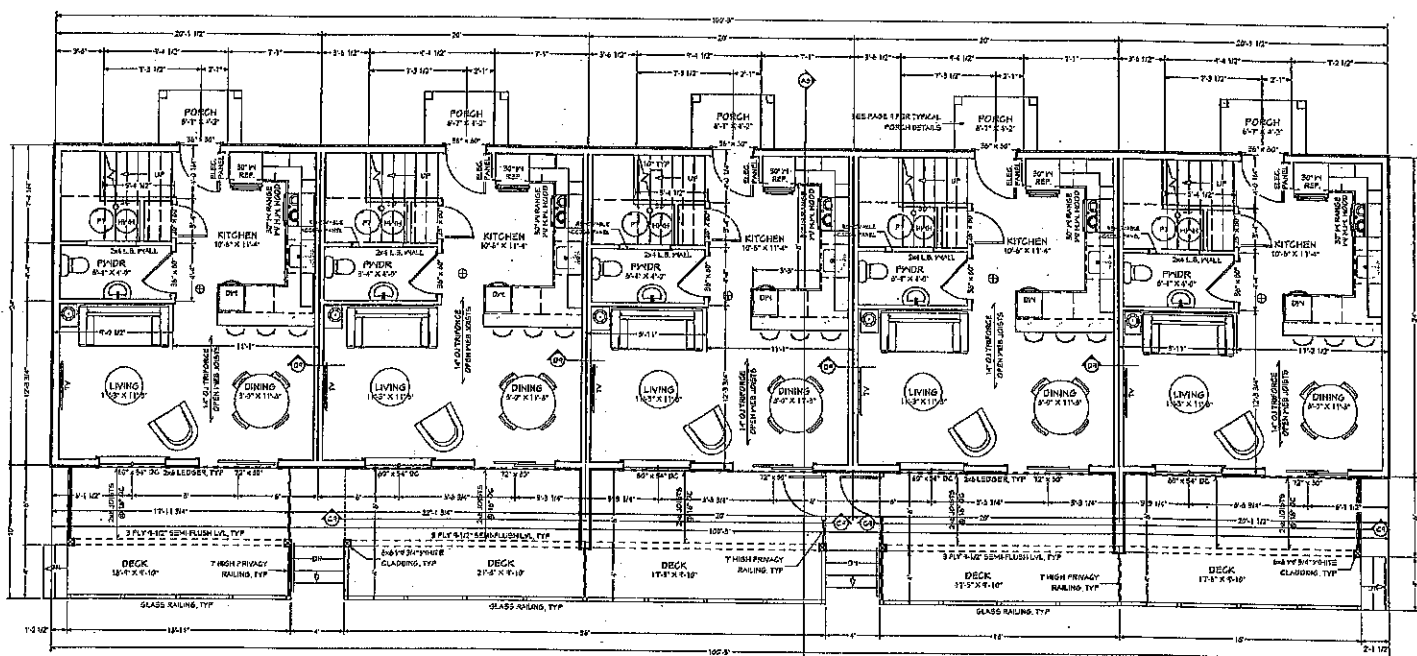
5. ALL DRAWINGS REMAIN THE PROPERTY OF B&L HOUSE PLANS

PROJECT NAME -
SUMMERSVILLE TOWNHOUSE FOUNDATION

DATE: 3/10/11

REV#	REVISION	DATE
1	DATE FOR PERMIT	2011.03.20
2	REMOVE PITA PLAN	04/12/2011

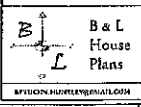
NOTE - SMALL DIMENSIONS ARE TAKEN FROM CENTERLINE OF FINISH SURFACE OF FINISH FACE OF STUDY WALL



LIVING AREA
200 SQ FT

LEGEND	
⊕	SMOKE ALARM
⊙	SOL Q'S ROUGH-IN

- NOTES**
1. 1x4 MIN. GRADE OR 2x2; 2x4 MIN. GRADE OR 2x4 THICK - DIMENSIONS TO BE VERIFIED BY SUPPLIER. LVL BEAMS USED IN EXTERIOR APPLICATIONS TO BE PROTECTED FROM WEATHER.
 2. HEATING SYSTEM: ELECTRIC BASEBOARD PRIMARY HEAT SOURCE WITH SPLIT PUMP BACKUP. ELECTRIC BASEBOARD A MINUTE LOCATIONS TO BE DETERMINED ON SITE.
 3. DOOR SIZES DO NOT INCLUDE DOOR FINISHES - DOOR SIZES TO BE SPECIFIED BY SUPPLIER.
 4. WINDOW SIZES SHOWN ARE UNIT FRAME SIZE. WINDOW ROOS TO BE SPECIFIED BY SUPPLIER.
 5. ATTENTION TO FIT BETWEEN TYPICAL 24" OC TRUSS SPACERS.



B & L House Plans

GENERAL NOTES -

1. BUILDER QUALIFICATIONS - THIS PLAN IS INTENDED FOR USE BY PERSONS KNOWLEDGEABLE IN THE FIELD AND WHO ARE GENERALLY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. BUILDING CODES -

- ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA.
- ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC. SHALL BE CONSIDERED AS APPLICABLE TO THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, SPECIFIED OR IMPLIED, IF AND WHERE VARIANCES OCCUR.
- IN THE CASE OF HIGH WINDS OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR OTHER SITES BEYOND THE SCOPE OF THIS PART 3 TABLES, THE OWNER/BUILDER MAY BE REQUIRED TO PROVIDE THEIR OWN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. ERROR'S AND OMISSIONS -

GRAND CARRIAGES BEEN TAKEN IN THE PRODUCTION OF PLANS FOR THIS PROJECT, BUT THE BUILDER ASSUMES THE SMALL POSSIBILITY FOR ERRORS. IT IS THE RESPONSIBILITY OF THE BUILDER TO CAREFULLY REVIEW AND CHECK ALL DETAILS AND INFORMATION ON THE PLAN INCLUDING DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. RESPONSIBILITY MUST LIE WITH THE BUILDER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO THE BUILDER PRIOR TO CONSTRUCTION.

4. BATH HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES OR PROXIMITY TO PROPERTY LINES.

5. CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL ACCORDING TO NATIONAL AND LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS.

6. ALL DIMENSIONS REMAIN THE PROPERTY OF B&L HOUSE PLANS.

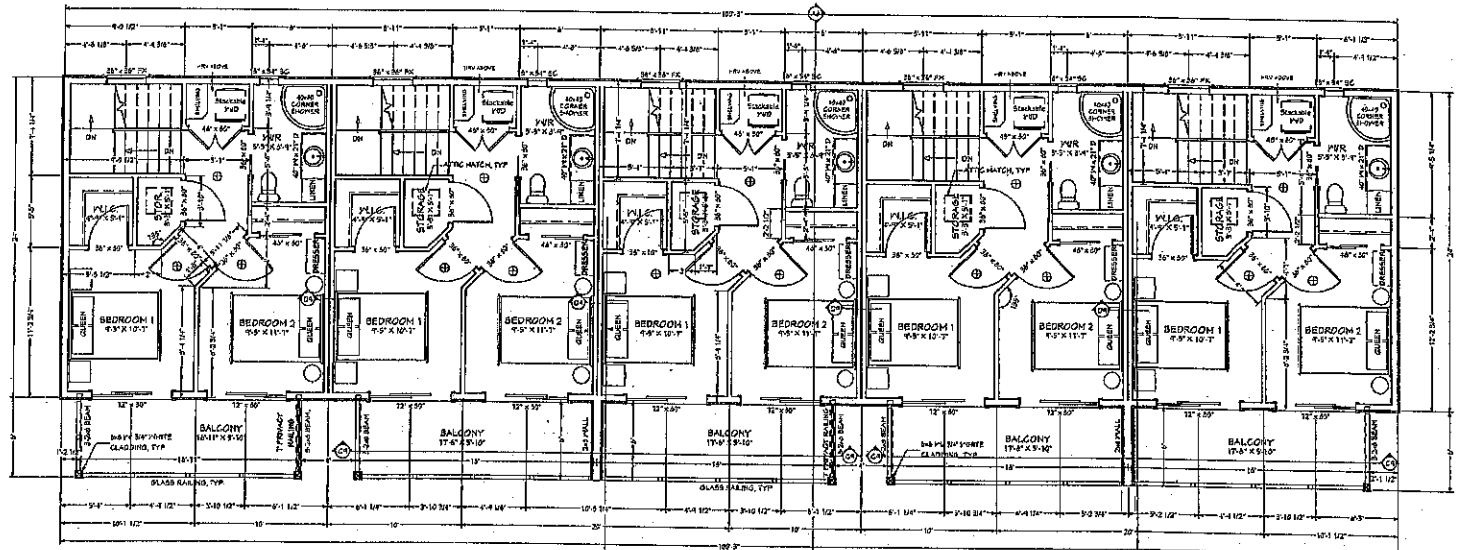
PROJECT NAME -
SUMMERSVILLE TOWNHOUSE

OWNER -
MAIN FLOOR

SCALE -
3/16" = 1'

REVISION TABLE		
NO.	REVISION	DATE
1	DATE TO PREPARE	2017.05.24
2	ADDRESS SHEET	10/17/17

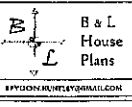
PAPER FOLDINGS ARE MADE FROM CENTERLINE OF PAPER OR FACE OF REED SURFACE OF SHEET



LIVING AREA
2044 SQ FT

SYMBOL	LEGEND	NOTES
(Symbol)	SHAKE ALARM	

1. LVL. FR. 2 RISE TO BE 2x6, EACH PLY TO BE 1/4" THICK. MEMBER SIZES TO BE VERIFIED BY SUPPLIER. LVL. BEAMS USED IN EXTERIOR APPLICATIONS TO BE PROTECTED FROM WEATHER.
2. HEATING SYSTEM: ELECTRIC RADIANT PRIMARY HEAT SOURCE BY HIGH SPLIT HEAT PUMP BACKUP. ELECTRIC BASEBOARD 8" HIGH-SPLIT LOCATIONS TO BE DETERMINED ON SITE.
3. DOOR SIZES SHOWN DO NOT INCLUDE DOOR FRAMES - DOOR SIZES TO BE SPECIFIED BY SUPPLIER.
4. WINDOW SIZES SHOWN ARE UNIT FRAME SIZE. WINDOW RISES TO BE SPECIFIED BY SUPPLIER.



B & L House Plans
 8111 HIGHWAY 101, SUITE 100
 FORT WORTH, TEXAS 76116
 TEL: 817-335-1111
 WWW.BANDLHOUSEPLANS.COM

GENERAL NOTES -
 1. BUILDER QUALIFICATIONS - THIS DRAWING IS INTENDED FOR USE BY PERSONS KNOWLEDGEABLE IN AND FAMILIAR WITH GENERALLY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. BUILDING CODES -
 ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA, ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC. SHALL BE CONSIDERED AS SPECIFICATIONS FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN OTHERWISE ON THESE PLANS AND WHERE VARIANCES OCCUR. IN THE CASE OF HIGH SLOPES OR UNUSUAL SITE CONDITIONS, HIGH STANDARD REQUIREMENTS OR DESIGN SIZES BEYOND THE SCOPE OF THIS PART 9 TABLE, THE OWNER/BUILDER SHALL BE REQUIRED TO PROVIDE AT THEIR EXPENSE AN ENGINEER'S REPORT, PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. ERRORS AND OMISSIONS -
 GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF THESE PLANS FOR THIS PROJECT, BUT THERE ALWAYS EXISTS THE SMALL POSSIBILITY FOR ERRORS. IT IS VERY IMPORTANT THAT THE BUILDER CAREFULLY VERIFY A CHECK ALL DETAILS AND INFORMATION ON THIS PLAN INCLUDING DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. RESPONSIBILITY MUST LIE WITH THE BUILDER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO B&L HOUSE PLANS PRIOR TO CONSTRUCTION.

4. B&L HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES, OR PRESENT/TITLE PROPERTY LINES.

5. CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL ADJACENT TO BEDROOMS AND WHERE PREPARED FIREPLACE GAS AND BOOD BURNING APPLIANCES ARE USED.

6. ALL WORKS REMAIN THE PROPERTY OF B&L HOUSE PLANS.

PROJECT NAME -
SUMMERSVILLE TOWNHOUSE

2ND FLOOR

SCALE: 3/16" = 1'

REVISION	DATE	BY	DATE
1	04/12/2011		
2	04/12/2011		
3	04/12/2011		

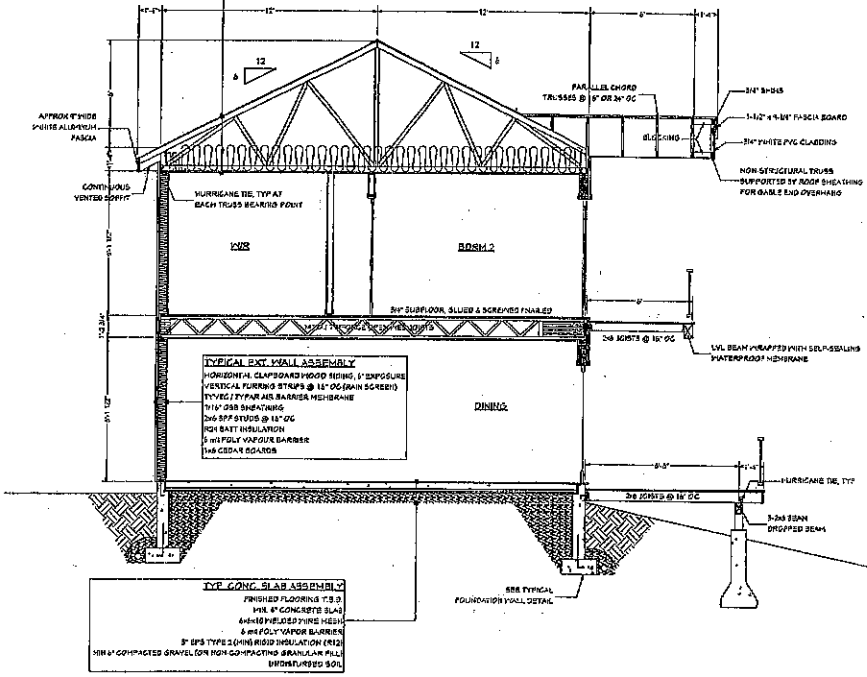
DATE: OCT 18, 2010

SHEET: PAGE 7 OF 11

NOTES: WALL, ROOF, AND FLOOR FINISHES FROM COLLECTION OF FINISHES SHEET OF THIS PROJECT.

TYPICAL ROOF ASSEMBLY
 METAL ROOFING
 UNDERLAYMENT
 ICE & WATER SHIELD @ GABLES & VALLEYS
 5/8" OSB TAG SHEATHING
 PRE-ENGINEERED ROOF TRUSSES, 24" OC
 PARALLEL CHORD TRUSS @ 12" OR 24" OC
 2x4 STRAPPING @ 12" OC
 1/2" POLY VAPOR BARRIER
 1/2" GYPSUM WALL

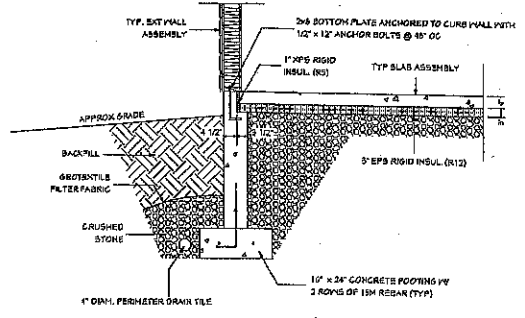
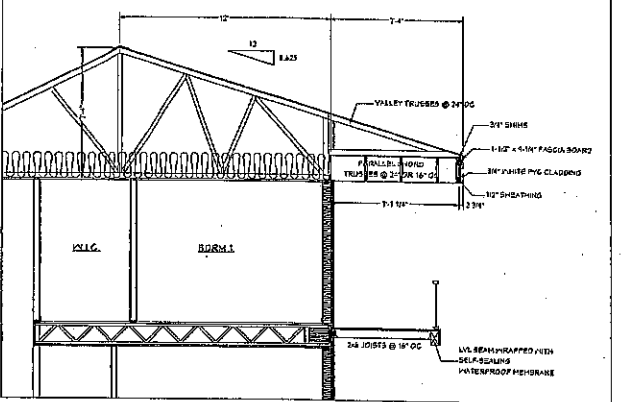
SECTION AA
 SCALE: 1/4" = 1'-0"



TYPICAL EXT. WALL ASSEMBLY
 HORIZONTAL CLAPBOARD SIDING, 1" EXPOSURE
 VERTICAL FURRING STRIPS @ 12" OC (RAIN SCREEN)
 TYPICAL 2x4 RAFTER HORIZONTAL
 1/2" OSB SHEATHING
 2x6 RFT STUDS @ 12" OC
 1/2" POLY VAPOR BARRIER
 1/2" GYPSUM BOARD

TYP. CONC. SLAB ASSEMBLY
 FINISHED FLOORING T.S.B.
 1/2" IN. 4" CONCRETE SLAB
 4" MIN. THICK POLYURETHANE INSUL.
 1/2" POLY VAPOR BARRIER
 3" EPS TYPE 2 RIGID INSUL. (R12)
 1/2" COMPACTED GRAVEL OR NON COMPACTING GRANULAR FILL
 IMPROVED SOIL

SECTION BA
 SCALE: 1/4" = 1'-0"



TYPICAL FOUNDATION WALL DETAIL
 SCALE: 1/2" = 1'-0"

B & L
 House
 Plans

GENERAL NOTES
 1. NUMBER QUALIFICATIONS - INDICATE THE FUNDING SOURCE BY PERSONS PROVIDING SERVICES IN AND PARALLEL WITH ORDINARILY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

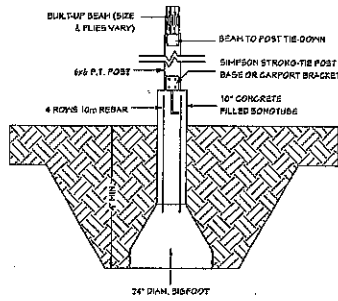
2. BUILDING CODES - ALL NOTES TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA. ALL FEDERAL, PROVINCIAL AND LOCAL ORGANIZATIONS, ETC. SHALL BE CONSIDERED AS SPECIFICATIONS FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, ENCLOSED OR IMPLIED, IN THE DRAWINGS UNLESS OTHERWISE NOTED.
 3. IN THE CASE OF HIGH WIND LOADS OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR BEAM SPANS BEYOND THE SCOPE OF THIS PART'S TABLES, THE OWNER/BUILDER SHALL BE RESPONSIBLE TO PROVIDE AT THEIR EXPENSE, AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. ERRORS AND OMISSIONS - GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF THESE PLANS FOR THIS PROJECT, BUT THERE ALWAYS IS THE SMALL POSSIBILITY FOR ERRORS. IT IS VERY IMPORTANT THAT THE OWNER CAREFULLY REVIEW ALL GENERAL DETAILS AND INFORMATION ON THIS PLAN CONSTRUCTION. RESPONSIBILITY MUST LIE WITH THE OWNER, HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO BILL HOUSE PLANS PRIOR TO CONSTRUCTION.

4. BEL HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, SLOPED STRUCTURES, OR PROXIMITY TO PROPERTY LINES.
 5. CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL ADJACENT TO BEDROOMS AND OTHER SLEEPING FIREPLACE, GAS AND WOOD BURNING APPLIANCES ARE USED.
 6. ALL DRAWINGS REMAIN THE PROPERTY OF BEL HOUSE PLANS.

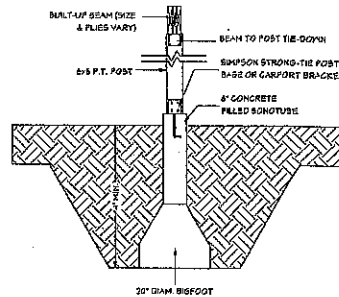
PROJECT NAME -			
SUMMERSVILLE TOWNHOUSE			
REVISION TABLE			
REV.	REVISION	DATE	
1	OWNER FOR CONSENT	MAY 18, 2011	
4	LARGER HYDRA PLAN	OCT 19, 2013	
DRAWING NAME -			
SECTIONS, DETAILS			
SCALE: 1/4" = 1'-0"			
			SHEET PAGE 4 OF 11

NOT: ALL DIMENSIONS ARE TAKEN FROM CENTERLINE OF FRAMED SURFACE OF STUDY THESE FACE OF DETAILS



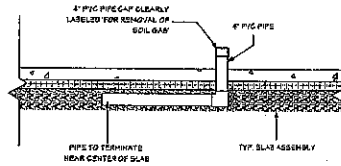
SONOTUBE / BEAM DETAIL AT DECK

SCALE: 1/2" = 1'-0"



SONOTUBE / BEAM DETAIL AT PORCH

SCALE: 1/2" = 1'-0"



SOIL GAS ROUGH-IN DETAIL

SCALE: 1/2" = 1'-0"

B & L House Plans

GENERAL NOTES -

1. BUILDER QUALIFICATIONS - THIS PLAN IS INTENDED FOR USE BY PERSONS WHO DISCREETLY READ AND UNDERSTAND ALL RELEVANT ACCEPTED PRACTICES, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. BUILDING CODES -

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODES OF CANADA. ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC., SHALL BE CONSIDERED AS APPLICABLE FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN DESCRIBED OR IMPLIED, IF AND WHERE VARIANCES OCCUR. IN THE CASE OF HIGH WIND LOADS OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR BEAM SIZES BEYOND THE WORK OF THIS PART 2 SHALL, THE OWNER, SHALDEN BE REQUIRED TO PROVIDE AT THEIR OWN RISK, AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. ERRORS AND OMISSIONS -

GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF PLANS FOR THIS PROJECT. BUT THERE MAY BE ERRORS OR OMISSIONS. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK ALL DETAILS AND DIMENSIONS OF THIS PLAN INCLUDING DIMENSIONS PRIOR TO PROCEEDING WITH BUILDING. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO B&L HOUSE PLANS PRIOR TO CONSTRUCTION.

4. B&L HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR

EXISTING SITE CONDITIONS SUCH AS SOIL-BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES OR PROXIMITY TO PROPERTY LINE. 5. CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL ADJACENT TO BEDROOMS AND WHERE PROPANE, PRELAPSE, GAS AND WOOD BURNING APPLIANCES ARE USED. 6. ALL DRAWINGS REMAIN THE PROPERTY OF B&L HOUSE PLANS.

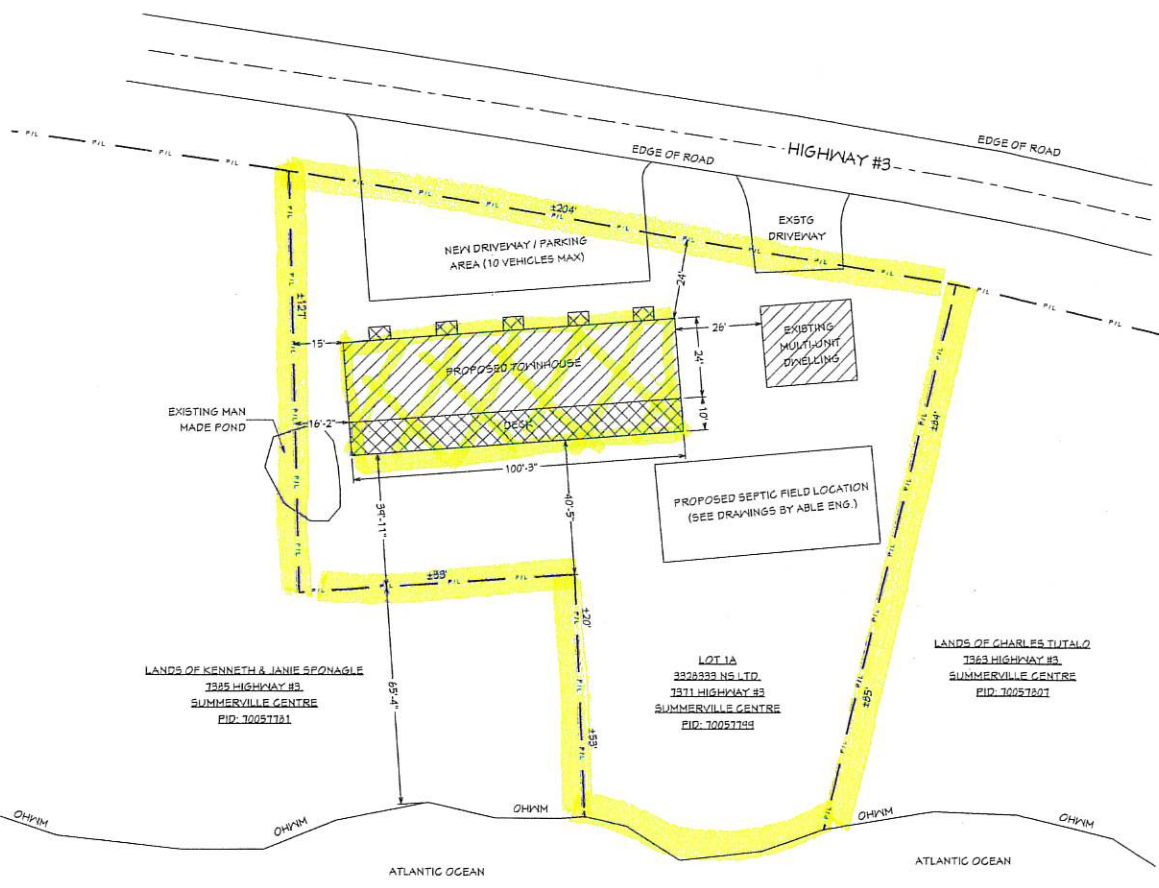
PROJECT: SUMMERTOWN TOWNHOUSE

CREATING DATE: MISC DETAILS

REVISION TABLE -

NO.	REVISION	DATE
1	ISSUED FOR CONSTRUCTION	MAY 18, 2024
2	ISSUED FOR PLAN	DECEMBER 1, 2024

NOTE: P.L. DIMENSIONS ARE TAKEN FROM CENTRELINE OF PAVING OR FACE OF CURB (NOT FACE OF DRIVEWAY)



B & L
House
Plans

BYRON HUNTLEY@GMAIL.COM

GENERAL NOTES:
1. BUILDER QUALIFICATIONS - THIS PLAN IS INTENDED FOR USE BY PERSONS KNOWLEDGEABLE IN AND FAMILIAR WITH GENERALLY ACCEPTED METHODS, TECHNIQUES AND STANDARDS NECESSARY FOR THE CONSTRUCTION OF THIS STRUCTURE.

2. BUILDING CODES - ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT NATIONAL BUILDING CODE OF CANADA. ALL FEDERAL, PROVINCIAL AND LOCAL ORDINANCES, ETC., SHALL BE CONSIDERED AS SPECIFICATING FOR THIS STRUCTURE AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED, IF AND WHERE VARIANCES OCCUR. IN THE CASE OF HIGH FLOW OR UNUSUAL SITE CONDITIONS, NON-STANDARD FOUNDATIONS OR BEAM SIZES BEYOND THE SCOPE OF NBC PART 3 TABLES, THE OWNER/BUILDER MAY BE REQUIRED TO PROVIDE AT THEIR EXPENSE AN ENGINEER'S REPORT. PLEASE CONSULT WITH LOCAL BUILDING AUTHORITIES.

3. ERRORS AND OMISSIONS - GREAT CARE HAS BEEN TAKEN IN THE PRODUCTION OF PLANS FOR THIS PROJECT BUT THERE ALWAYS EXISTS THE SMALL POSSIBILITY FOR ERRORS. IT IS VERY IMPORTANT THAT THE BUILDER CAREFULLY REVIEW & CHECK ALL DETAILS AND INFORMATION ON THIS PLAN INCLUDING DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. RESPONSIBILITY MUST LIE WITH THE BUILDER. HOWEVER, ANY ERRORS OR OMISSIONS FOUND SHOULD BE REPORTED IMMEDIATELY TO BAL HOUSE PLANS PRIOR TO CONSTRUCTION.

4. BAL HOUSE PLANS SHALL NOT BE RESPONSIBLE FOR EXISTING SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, WATER TABLE, BURIED STRUCTURES OR PROXIMITY TO PROPERTY LINES.
5. CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH LEVEL ADJACENT TO BEDROOMS AND WHERE PROPANE, FIREPLACE, GAS AND WOOD BURNING APPLIANCES ARE USED.
6. ALL DRAWINGS REMAIN THE PROPERTY OF BAL HOUSE PLANS.

PROJECT NAME:
SUMMERVILLE TOWNHOUSE

DRAWING NAME:
SITE PLAN

SCALE: 3/8" = 1'

REVISION TABLE:		
REV#	REVISION	DATE
1	ISSUED FOR CONVT.	MAY 18, 2017
2	ADDED SITE PLAN	OCT 17, 2017

SHEET PAGE 11 OF 11

Appendix B

THIS AGREEMENT made this _____ day of _____, A.D., 2024.

BETWEEN:

3328333 NOVA SCOTIA LIMITED of Fall River, in the County of Halifax and Province of Nova Scotia, hereinafter referred to as the "Developer"

OF THE ONE PART

-and-

REGION OF QUEENS MUNICIPALITY, a municipal corporation, duly incorporated under the laws of the Province of Nova Scotia and having its office in Liverpool in the County of Queens and Province of Nova Scotia; hereinafter referred to as the "Region"

OF THE SECOND PART

WHEREAS the Developer has requested that the Region enter into a Development Agreement, pursuant to Sections 225 and 230 of the Municipal Government Act of Nova Scotia, and Policy 5-51 of the Region's Municipal Planning Strategy, so that the Developer may use the subject property in a manner which is not presently provided for under the Region's Land Use Bylaw;

AND WHEREAS the Region is prepared to enter into such an agreement on the terms and conditions hereinafter set forth;

NOW THEREFORE, in consideration of the benefits, which flow to both parties as a result of the covenants contained herein, the parties hereto agree by and between themselves as follows:

1. **THAT** the Developer is the registered owner of the Lands identified as PID# 70057799 and shown on Schedule "A" attached hereto, (hereinafter referred to as "the Lands");
2. **THAT** the Developer shall not develop or use the Lands, including buildings located on the lands, for purposes other than those described in this Agreement;
3. **THAT** the proposed uses permitted under this Development Agreement are the following:
 - a) Grouped Dwellings containing 7 Units; and
 - b) Coastal Rural (R6) Zone Uses.
4. **THAT** any outdoor storage of materials shall be screened from view by an opaque fence;

5. **THAT** the Developer shall maintain a minimum of ten (10) off-street parking space for the grouped dwellings;
6. **THAT** the parking area shall be maintained with a stable surface, that is treated to prevent the raising of dust or loose particles;
7. **THAT** any lighting for proposed development shall be directed away from abutting properties;
8. **THAT** notwithstanding any other provisions of this Development Agreement, the Developer shall not undertake or carry out any development on the Lands which does not comply with:
 - (a) this Development Agreement;
 - (b) any statutes and regulations of the Province of Nova Scotia to the extent that the same are properly the subject of a development agreement; and
 - (c) appropriate Municipal Bylaws, including without restricting the generality of the foregoing, the Bylaw Respecting the Building Code Act.
9. **THAT** in the event of a dispute, the decision of the Development Officer of the Region as to whether the development is in conformance with the terms of this Agreement shall be conclusive;
10. **THAT** notwithstanding the provisions of the Region of Queens Municipality Municipal Planning Strategy and Land Use Bylaw, the Developer shall be permitted to seek substantial or non-substantial amendments to this Development Agreement, subject to the procedure as set forth in Section 230 of the Municipal Government Act of Nova Scotia;
11. **THAT** amendments which shall be considered substantial are any affecting the following:
 - (a) A change in the uses permitted;
 - (b) An increase in the number of dwelling units.
12. **THAT** any amendment whether substantial or otherwise must be approved by both parties in writing;
13. **THAT** the Developer agrees to pay for all legal costs, advertising and expenses incurred by the Region that have originated from its application for this Development Agreement;
14. **THAT** this Agreement shall be binding upon the parties hereto, their heirs, successors and assigns and shall run with the land which is subject to this Agreement;

15. **THAT** this Agreement is not assignable without the written consent of the Region;
16. **THAT** enforcement and rights and remedies on default of this Agreement shall be as follows:
 - (a) The Developer agrees that the Development Officer appointed by the Region to enforce this Agreement shall be granted access onto the lands during all reasonable hours without obtaining consent of the Developer. The Developer further agree that, upon receiving written notification from the Development Officer to inspect the interior of any building located on the lands, the Developer agrees to allow for such inspection during any reasonable hour within two (2) days of receiving such notice.
 - (b) If the Developer fails to observe or perform any condition of this Agreement, after the Region has given the Developer thirty (30) days written notice of the failure or default, then in each such case:
 - (1) the Region shall be entitled to apply to any court of competent jurisdiction for injunctive relief including an order prohibiting the Developer from continuing such default, and the Developer hereby submit to the jurisdiction of such Court and waive any such defense based upon the allegation that damages would be an adequate remedy;
 - (2) The Region may enter upon the lands and perform any of the covenants contained in this Agreement, whereupon all reasonable expenses whether arising out of the entry on the lands or from the performance of the covenants may be recovered from the Developers; if unpaid within 30 days of billing by the Region; by direct suit and such amount shall, until paid, form a lien upon the lands and be shown on any tax certificate issued under the Municipal Government Act;
 - (3) The Region may by resolution discharge this Agreement, upon providing the Developer sixty days (60) written notice, whereupon this agreement shall have no further force or effect and henceforth the development of the lands shall conform with the provisions of the Region of Queens Municipality Land Use Bylaw;
 - (4) In addition to the above-mentioned remedies, the Region reserves the right to pursue any other remediation under the Municipal Government Act or common law to ensure compliance with this Agreement.

17. **THAT** the entering into of this Agreement was approved by the Council of the Region of Queens Municipality at a duly held meeting of Council convened on the _____ day of _____, 2023.

- (a) This Agreement shall not be entered into, or signed by the parties, until the time for Appeal under Section 228 of the Municipal Government Act of Nova Scotia has elapsed, any appeals which have been lodged have been disposed of and the required resolution of Council has been affirmed by the Nova Scotia Utility and Review Board;
- (b) This Agreement does not come into effect until it is filed, by the Region of Queens Municipality, in the Registry of Deeds as set out in Section 228 of the Municipal Government Act of Nova Scotia.

DRAFT

IN WITNESS WHEREOF the parties have hereto set their hands and affixed their Corporate seals the day and year first above written.

SIGNED, SEALED AND DELIVERED
in the presence of

3328333 NOVA SCOTIA LIMITED

Witness

) Per: _____
) Eric Fry

) **REGION OF QUEENS MUNICIPALITY**

Witness

) Per: _____
) Mayor

) Per: _____
) Chief Administrative Officer

PROVINCE OF NOVA SCOTIA
COUNTY OF QUEENS

ON this _____ day of _____, 2024, before me, the subscriber personally came and appeared _____ a subscribing witness to the foregoing Indenture, who having been by me duly sworn, made oath and said that Eric Fry signed, sealed and delivered the same in his/her presence.

A Commissioner of the Supreme Court of Nova Scotia

**PROVINCE OF NOVA SCOTIA
COUNTY OF QUEENS**

ON this ____ day of _____, 2024, before me, the subscriber personally came and appeared _____ a subscribing witness to the foregoing Indenture, who having been by me duly sworn, made oath and said that the Region of Queens Municipality, per its authorized officers, Darlene Norman and Cody Joudry, signed, sealed and delivered the same in his/her presence.

A Commissioner of the Supreme Court of Nova Scotia

DRAFT

SCHEDULE "A"

HIGHWAY 3

70057799

#7371



PROPERTY SUBJECT TO
DEVELOPMENT AGREEMENT



Region of Queens Municipality Staff Report

7.4

To: Council

From: Angela Green, Administrative Assistant - Administration

Date: November 14, 2023


Re: Police Advisory Board Members

Background

Council at its regular meeting on July 11, 2023, passed a motion to strike an Ad Hoc Nomination Committee comprised of the council members appointed to the Police Advisory Board. Deputy Mayor Jack Fancy and Councillors David Brown and Carl Hawkes were appointed to review applications, conduct applicant interviews, and make recommendations for appointments to the newly formed Police Advisory board for the members from North and South Queens.

Details

After the approval by Council of the Ad Hoc Nomination Committee, staff prepared an application form for interested public members to fill out and submit reflecting their interest and experience. An ad was placed in the South Shore Breaker on July 26, 2023, and the notice was also published on the Municipality's website and promoted via Facebook and Twitter for approximately 2 weeks. Deadline for applications was August 1, 2023. At the conclusion of the advertising period, 4 applications were received.



On November 2, 2023, the Ad Hoc Nomination Committee conducted interviews of the applicants, and from these interviews two members were selected as follows:

North Queens Representative: Donald Kimball

South Queens Representative: Elaina Gaetan

It was further decided that the initial terms of appointment should be staggered to provide continuity to the Police Advisory Board. After discussion, the decision was made to have the North Queens appointee serve an initial 2-year term, and the South Queens appointee serve an initial 3-year term.

Applicable Legislation

Sections 57 to 68 of the Nova Scotia Police Act (2004).

Budget Impacts

This initiative has not been budgeted for 2023/2024. Expenditures such as travel, and other meeting expenses will be incurred. It is not anticipated that costs will be significant for the current fiscal year. The Police Advisory Board should provide advice to Council on budget requirements for future years.

Recommendation

THAT Council of Region of Queens Municipality approve the following public member committee appointments:

Donald Kimball, North Queens, for a term expiring October 31, 2025

Elaina Gaetan, South Queens, for a term expiring October 31, 2026

Communications

Appointees will be notified of their appointment and supplied with relevant information.

Region of Queens Municipality Staff Report

7.5

To: Council

From: Elise Johnston, Accessibility and Inclusion Coordinator

Date: November 14, 2023

Re: Diversity and Inclusion Action Team: Confirm TOR changes, Reinstate 8 members, Approve 1 new member

Background

The Diversity and Inclusion Action Team consists of up to ten community members that can advocate for marginalized or under-represented residents in Queens County. A range of voices bring broad diversity & inclusion perspective to municipal policies, programs and supports. A few passionate members have been volunteering their time since 2019 and accept being reinstated as of October 2023, whereas a few seats opened as members stepped down.

Details

The Diversity and Action Inclusion Team (DIAT) recently had two vacancies, and a call for participation was promoted on various Region of Queens social media platforms, by email and word of mouth. One new resident submitted an application and was accepted by the existing team for recommendation as a member.

Meanwhile, due to internal staffing changes, some language on role titles in the Terms of Reference needed updating.

Applicable Legislation

Section 24 of the *Municipal Government Act* states that:

(1) The council may establish standing, special and advisory committees.

(2) Each committee shall perform the duties conferred on it by this Act, any other Act of the Legislature or the by-laws or policies of the municipality.

(3) The council may appoint persons who are not members of the council to a committee and may establish a procedure for doing so.

Budget Impacts

All members of Committees, including public members, are reimbursed for reasonable out of pocket expenses related to their participation on committees and mileage to attend meetings. Typically members are not claiming this expense as they live nearby or remain as online participants.

Recommendation

THAT Council of the Region of Queens Municipality appoint Tammy Conway-Denning of Western Head to the Diversity and Inclusion Action Team.

THAT Council approves the reinstatement of Lynda Earle, Paul Woods, Shaninne Corkum, Rebecca Smart, Paula Barry-Mercer, Rigel Jones, Dotse Dunyo and Melissa Labrador to the Diversity and Inclusion Action Team.

THAT Council approves the Terms of Reference for the Diversity and Inclusion Action Team as edited.

Communications

Upon approval of this recommendation, a letter informing the applicant of their appointment will be sent and the new Terms of Reference will be distributed to all members.

Region of Queens Municipality
DIVERSITY AND INCLUSIVE ACTION TEAM APPLICATION

Applicants Name: _____

Mailing Address: _____ Civic Address: _____

_____ Phone: _____

_____ Cell: _____

E-mail address: _____

Applicants are encouraged to note if they identify with any of the following diverse groups:

Indigenous

African Nova Scotian

LGBTQ2S+

Youth

Person with a Disability

Religious Affiliation

Racially Visible Person

Other (Please specify) _____

Please explain your reasons for applying to be a member of the Queens County Diversity and Inclusion Action Team?

Have you participated in any diversity training in the past five years? (If so, please explain)

Are you a member of a group that identifies with diversity and inclusion issues now? (If so, please explain)

What do you hope will be achieved by the Action Team and Municipality after volunteering on this Action Team for three years?

I confirm that this application is true to the best of my knowledge and is being submitted in accordance with the application criteria and no information that may lead to my application being deemed ineligible or inappropriate has been withheld.

Signature: _____ Date: _____

Submit Applications to the Accessibility & Inclusion Coordinator
diversity@regionofqueens.com

OFFICE USE ONLY

Date Application Received: _____ Initials: _____

Approved: YES NO

Conditions / Reasons (if any): _____

Membership Start Date: _____ End Date: _____

Region of Queens Municipality

DIVERSITY AND INCLUSION ACTION TEAM (DIAT)

Terms of Reference

Purpose

The purpose of Diversity and Inclusion Action Team (DIAT) is to provide Municipal Council with strong impactful advice, education, and recommendations for programs and services, while designing and implementing positive and supportive opportunities to promote and celebrate our diverse community to promote inclusion for all. DIAT will help inform and provide feedback on the Equity, Diversity and Inclusion work of the Accessibility and Inclusion Coordinator, and by extension the work of the municipality as a whole.

This team must ensure that the information and authority granted to it is always used in a non-partisan, non-personal manner, and the general well-being of the community always takes precedence over any individual person or business so that the best options to support community diversity and inclusion for each and every person is realized.

Authority

Diversity and Inclusion Action Team has been granted its legal authority to advise the Municipality by virtue of being delegated this responsibility with Council's approval on August 11, 2020, of this Terms of Reference. Council's authority to establish this Team is included in Sections 9A and 24(1) of the *Municipal Government Act*.

Scope

The scope of the volunteer Diversity and Inclusion Action Team shall be to review and assess all municipal operations as they relate to equity, diversity and inclusion for residents and businesses. The development of this initiative has been ongoing since late 2019. The Team's reporting relationship is limited to advice and recommendations to the Accessibility and Inclusion Coordinator, who shall bring forth recommendations to the Chief Administrative Officer or Council when applicable to do so. Specifically, the Team shall endeavour to:

1. Provide a diversity lens and recommendations to the Municipality respecting materials, social media strategies, educational training, community engagement, and other issues that are believed to support diversity and increase inclusion for all throughout Queens County.
2. Recommend areas where the Accessibility and Inclusion Coordinator may undertake research and data collection respecting diversity and inclusion in the community and share this data to inform and educate the community.
3. Develop criteria and implement a small grants program for diversity and inclusion programs, services, infrastructure, and progressive ideas that allow for community education, development of resources, training, and engagement of youth and non-traditional partners.

4. In concert with the Accessibility and Inclusion Coordinator and other staff as appropriate, consult with provincial and federal departments and agencies such as Office of African Nova Scotia Affairs, Nova Scotia Office of Aboriginal Affairs, Nova Scotia Accessibility Directorate, Nova Scotia Office of Equity and Anti-Racism Initiatives, and others as appropriate to keep apprised programs and services for marginalized and historically excluded communities.
5. Act as an information resource by providing advice and capacity-building to community organizations and businesses to educate them on the importance and benefits of equity, diversity, inclusion, and accessibility in their organizations or businesses and facilitate the provision of diversity and inclusion training when appropriate or requested.
6. Conduct outreach with community members and groups when DIAT feels community leadership is needed and the team feels it is best positioned to be the community spokesperson on the issue or is most appropriate to provide community education or training.
7. Provide advice and recommendations to Council respecting opportunities to advance community education about equity, diversity, inclusion, and accessibility, naming of infrastructure and amenities, training requirements for municipal staff and Council, ways to include more diversity and inclusion in programs, services, and infrastructure, ensuring a respectful and equitable community for all to live and work.
8. Assisting disadvantaged or historically underrepresented members of our community navigating programs and services to support their individual needs to ensure they can access timely and relevant supports.
9. Guide the work of the Accessibility and Inclusion Coordinator to ensure community priorities are acted upon and annual work plans as approved by the Chief Administrative Officer are completed and implemented.
10. Assist the Accessibility and Inclusion Coordinator with organizing meetings, conducting research, preparing reports, overseeing grant promotion and approvals process, liaising with community groups, and business, and leading by example.

Reporting Relationship

Diversity and Inclusion Action Team shall be accountable directly to Council of Region of Queens Municipality and the Team Leader indirectly to the Chief Administrative Officer for operational and administrative support.

Role of Team Lead

The Team Leader is ultimately responsible for organizing, chairing and facilitating all meetings. The DIAT Lead will also ensure that appropriate research, directions and recommendations are given to the team, including the provision for review of work plans, policy directions, strategies, financial commitments, research and data collection, as well as all other items incidental to the effective operation and management of the team while ensuring that the Team does not vary from its equity, diversity, and inclusion focus.

Role of Alternate Team Leader

An Alternate Team Leader shall be appointed and act in the place of the Team Leader during absences, unavailability, or conflicts of interest of the Team Leader.

Role of Action Team Member

Team Members are expected to prepare for and attend all meetings of the Team unless they provide prior notice of absence to the Team Leader. Team Members are required to always act in the best interest of the community generally and set aside personal beliefs and business interests at all times, because they will conflict with the objectives and strategic directions of the Team. Team Members may seek or provide information to the Coordinator but shall not direct the Coordinator.

Role of Accessibility and Inclusion Coordinator

Accessibility and Inclusion Coordinator shall act as a staff resource to Diversity and Inclusion Action Team. This person shall lead the research and report writing aspect of the Team's work to ensure the Team has the most accurate information upon which to make a decision or make recommendations to the Chief Administrative Officer or Council relating to policies, programs, and initiatives relating to the residents of Queens County. Accessibility and Inclusion Coordinator shall act as non-voting resource to the Team.

Role of Municipal Clerk and Diversity Coordinator

The Team shall work with the Municipal Clerk and Diversity Coordinator respecting policy research, review, recommendations and implementation, relating to internal processes and governance of Region of Queens Municipality, while adhering to budget limitations.

Membership

Membership on Diversity and Inclusion Action Team shall include up to ten (10) non-municipal members of the public who are residents of Queens County, duly appointed by Council pursuant to Section 24 of the *Municipal Government Act* for a term determined at time of appointment. Members appointed to this Team should have a clear background as a member of a historically underrepresented community or a clear link to such, possess an open and positive mindset, be passionate about equity, diversity, and inclusion and understand the importance of such. DIAT members will be willing to undertake difficult discussions, understand the importance of education to reduce mistreatment of persons, and be comfortable talking about the importance of equity, diversity, and inclusion.

Any resignation shall be tendered in writing to the Team Leader. Subsequently a replacement will be sought through the normal recruitment process to fill the remaining term of office. Any member who misses three meetings (without valid reasons, or sending regrets) in any one fiscal year shall be deemed to be no longer a member of the Team. A Team Leader and Alternate Team Leader shall be elected at the first meeting of the Team by a majority vote of the members and shall continue to hold office until replaced.

Duration of Mandate

Diversity and Inclusion Action Team membership terms shall begin on October 1, 2020 and shall be for a term of three years. On September 30, 2023, all membership on the Team shall expire and every three years thereafter. Members are eligible for re-appointment effective October 1, 2023 and every three years thereafter.

Frequency of Meetings

Meetings of Diversity and Inclusion Action Team shall be held on such day as the Team decides at the first meeting of the Team, with such meetings taking place at the same time agreed to by the Team monthly. Additional meetings may be held, or the above meetings date and times changed, when agreed to by consensus of the Team and prior notification is provided to the public.

Quorum Requirements

No decisions may be made at any Diversity and Inclusion Action Team meeting unless a quorum of a majority of the current members of the Team is present in person.

Agenda, Minutes and Resolutions

Minutes, advice, and recommendations of Diversity and Inclusion Action Team shall be provided to each member of the Team within a reasonable time after the conclusion of such meeting. Accessibility and Inclusion Coordinator will endeavour to provide each member of the Team with the agenda and required supporting documentation at least four days prior to every meeting.

Conflict of Interest

It is expected that all members of Diversity and Inclusion Action Team will adhere to the *Municipal Conflict of Interest Act*, disclosing any pecuniary, financially beneficial, or indirect pecuniary or monetary gainful interest in any matter before the Team and refraining from taking part in, or trying to influence either before or after the meeting, any directions or decisions respecting such matters. Any breach of this guideline will require the Team Leader to ask Council to remove that member and appoint another member in their place. If the breach is by the Team Leader, this shall be reported to Council by the Alternate Team Leader. Diversity and Inclusion Action Team will conduct its business in accordance with the Municipality's Code of Conduct Policy.

Resources

Diversity and Inclusion Action Team shall have access to the Accessibility and Inclusion Coordinator and other appropriate municipal staff as authorized by the Chief Administrative Officer, to undertake the required research it needs in order to make the most appropriate decisions in a timely manner. Requests for resources above the annual budgeted amount for the Team shall be made by the Team through the Team Leader to Council, on an as needed basis. The Team will have access to all documents and records of the Municipality that are publicly available and within its purview when requested and subject to confidentiality when noted.

Decision-Making Process

All decisions of Diversity and Inclusion Action Team shall be made by majority vote of Team members present and eligible to vote. Where a majority is not forthcoming, the vote shall be determined in the negative. All decisions of the Team will be made without undue influence or biased decision-making favouring any Team member's personal or financial interests, or that of family members or close friends.

Confidentiality

All meetings of Diversity and Inclusion Action Team are considered public, except those matters deemed to be private and confidential in nature and subject to Section 22 of the *Municipal Government Act*. Minutes and subsequent resolutions of such meetings shall be recorded and publicly available upon approval by the Team. Information and reports of the Team shall be subject to normal Freedom of Information and Protection of Privacy (FOIPOP) regulations.

Communications

All communications and messaging from Diversity and Inclusion Action Team's work and activities shall come solely from the Team Leader or their designate. It is expected that all decisions of the Team will be supported by all members of the Team upon ratification. This does not limit the ability of an individual member from speaking freely with the media, but in all such cases the individual committee member should be clear that it is their opinion and not that of Diversity and Inclusion Action Team.

Reporting

Annually, at minimum, the Diversity and Inclusion Action Team shall provide a written report or presentation to Council.

Responsibilities

Diversity and Inclusion Action Team shall be responsible for developing critical and measurable success factors of the Team through its associated research and annual work plan, including regularly evaluating its programs and services against these criteria. The Team is expected to make timely decisions and give solid advocacy and capacity building advice to the Diversity and Inclusion Coordinator that are in the best interests of all residents without exception.

Approved by Council: 11 August, 2020

Amended on: 30 October, 2023

Approved by Council: , 2023

Region of Queens Municipality Staff Report

7.6

To: Council

From: Meaghan Roberts, Director of Recreation & Healthy Communities

Date: November 14, 2023

Re: South Queens Outdoor Pool Project

Background

On February 14, 2023, the following motions were approved by Council of the Region of Queens Municipality:

1. That placement of a new replacement pool for Milton Centennial Pool be on the lands of Queens Place Emera Centre.
2. That the new pool, to be placed on the lands of Queens Place Emera Centre, contain a zero entry design.
3. That the new pool, to be placed on the lands of Queens Place Emera Centre, contains 6 lanes.
4. That approval be given to register and apply for grants with consultation and approval from the appropriate staff member. The Pool Committee or designate will research and write the grants for approval.

In Council on March 28, 2023, there was discussion regarding the possibility of combining the library and pool project on the lands at Queens Place Emera Centre and it was requested to be explored further with the Project Manager for the Library. In April 2023, an agreement was entered into for a Project Manager to explore the library and pool projects both jointly and separately. A meeting



with Council, staff and the Project Manager was held on May 23, 2023 and it was determined at this time to move forward with only the pool project on the available lands attached to Queens Place Emera Centre due to site limitations.

In Council on June 13, 2023, Interim CAO Dan McDougall provided an update presentation on the pool outlining where the project currently stands and the suggested next steps. As part of this update, a request had been received from the Pool Committee to consider the inclusion of a hot tub in the project. Councillors agreed to have the Project Manager include the design and costs in the project; but some concerns were raised surrounding the cost implications and staying within budget. At this time, Councillors also requested that costing for the project design be determined. Since June, the Pool Committee and staff have worked with the Project Manager and design team on various design options and considerations.

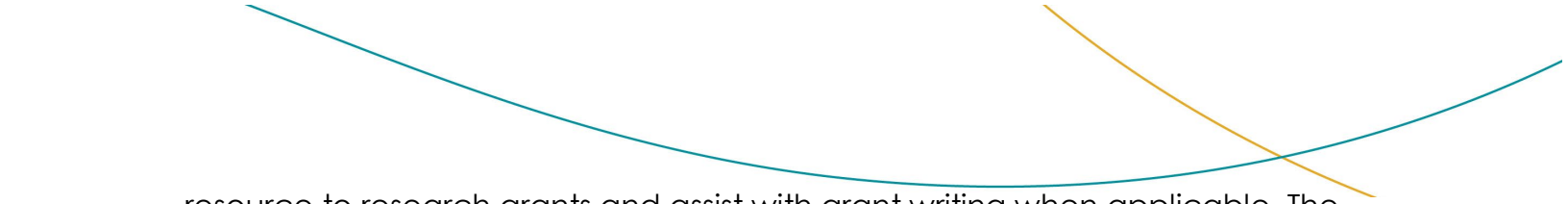
Included in the approved Region of Queens Municipality 2023-2024 Capital Budget was \$2 million in long-term borrowing and \$3 million in private funding for the South Queens Outdoor Pool Project.

Details

The design and costing was presented to Council, Pool Committee, private funders and staff by the Project Manager in a workshop held on October 26, 2023. Current estimated costs for the pool project design were reviewed by the Project Manager in the amount of \$7,149,885 + HST.

The Pool Committee submitted a recommendation letter dated November 3, 2023 which endorsed Site Plan Option 5 design and the location as presented by the Project Manager. The Pool Committee letter is included as part of this report in addition to Site Plan Option 5.

The letter notes that it is understood that based on the current estimated project costing, there will be a deficit between projected costs and the private funding and the Region of Queens Municipality funding. Fundraising and grants will be required to bridge the gap between committed funds and the actual cost. The letter states that while the Region of Queens Pool Committee does not have the authority to apply for grants, the committee members are prepared to act as a



resource to research grants and assist with grant writing when applicable. The Committee members are also prepared to support fundraising efforts.

The Region of Queens Pool Committee has also requested that the area around the pool be landscaped to include a tiered grassy area to be used for spectator seating instead of the portable bleachers that were previously discussed. This request is not included in the current design or costing received from the Project Manager. Several other recommendations were included in the November 3, 2023 letter that will be taken into consideration in future project steps.

At this time, it is requested that Council provide direction to proceed with the project. If direction to proceed is received, the following steps will be taken prior to Council being presented with the complete project for final approval.

1. Development of estimated operating budget including expenses and revenue.
2. Development of financial plan including possible funding models and grant opportunities for the current capital cost deficit.
3. Development of construction procurement options.
4. Obtain further Project Management services.

Applicable Legislation


The Municipal Government Act provides authority for Municipality's to build, own and operate recreational facilities.

Budget Impacts

Region of Queens Municipality has included \$2 million in long-term borrowing in the approved 2023-2024 Capital Budget.

Recommendation

THAT Council of the Region of Queens Municipality direct the Pool Committee and Municipal staff to proceed with the next steps in the South Queens Outdoor Pool Project, including; development of estimated operating budget including expenses and revenue; development of financial plan including possible funding models and grant opportunities for the current capital cost deficit;



development of construction procurement options; and obtain further Project Management services.

AND THAT Council of the Region of Queens Municipality authorize the Director of Recreation & Healthy Communities to be included as a member of the Region of Queens Pool Committee.

Communications

Upon approval, next steps will be shared with the Pool Committee and applicable Municipal staff.

November 3, 2023

Subject: Region of Queens Pool Committee Recommendation

Dear Region of Queens Council Members:

The pool committee has reviewed Site Plan Option 5 presented to the committee by Andrew Amos.

The committee endorses the Site Plan Option 5 design and the location. We are presenting the following recommendations for your consideration:

1. A second filtration system be added for the therapy pool.
2. The area around the pool be landscaped to include a tiered grassy area to be used for spectator seating instead of the portable bleachers that were previously discussed. The tiered area would provide natural seating for spectators at events such as swim meets and competitions in addition to being an area for families to relax while attending other pool related activities such as lessons or public swims. Creating tiers would allow spectators to use lawn chairs and make walking easier and safer.

The committee discussed portable risers to increase spectator seating capacity but felt the grassy seating area would be safer and would avoid the storage challenges and annual installation of the bleacher therefore reducing time and labour required to open and close the pool each season.

To minimize debris from mowing and inclement weather, a screen around the lower part of the fence surrounding the pool might be beneficial. The height of the screen should not be high enough to negatively impact the spectators' view of the pool deck.

3. Row of seating on the side of the beach entry opposite of the railing to provide seating for individuals with mobility issues.
4. The electrical room should be large enough to accommodate future energy requirements such as a battery or transformer.
5. Three solar blankets with rollers/reels (one for the main pool, one for the beach entry area and one for the therapy pool.)

It is the committee's understanding that the donors approve the design and location of the pool as long as spectator seating is adequate to accommodate swim meets. Based on other facilities in Nova Scotia such as the Waegwoltic and Bedford pools, the tiered seating concept should meet the requirements to host meets.

Based on the costing presented at the workshop in October, there will be a deficit between projected cost and what has been committed by the donors and the Region. Fundraising and grants will be required to bridge the gap between committed funds and the actual cost. While the Region of Queens Pool committee does not have the authority to apply for grants, the committee members are prepared

to act as a resource to research grants as well assist with grant writing when applicable. The committee members are also prepared to support fundraising efforts.

We would like to thank the Council for requesting our feedback on the plans. We recognize the importance of having a pool in Queens County for future community and economic development in addition to the health and wellness benefits. We are committed to helping the Region move forward with this very important project.

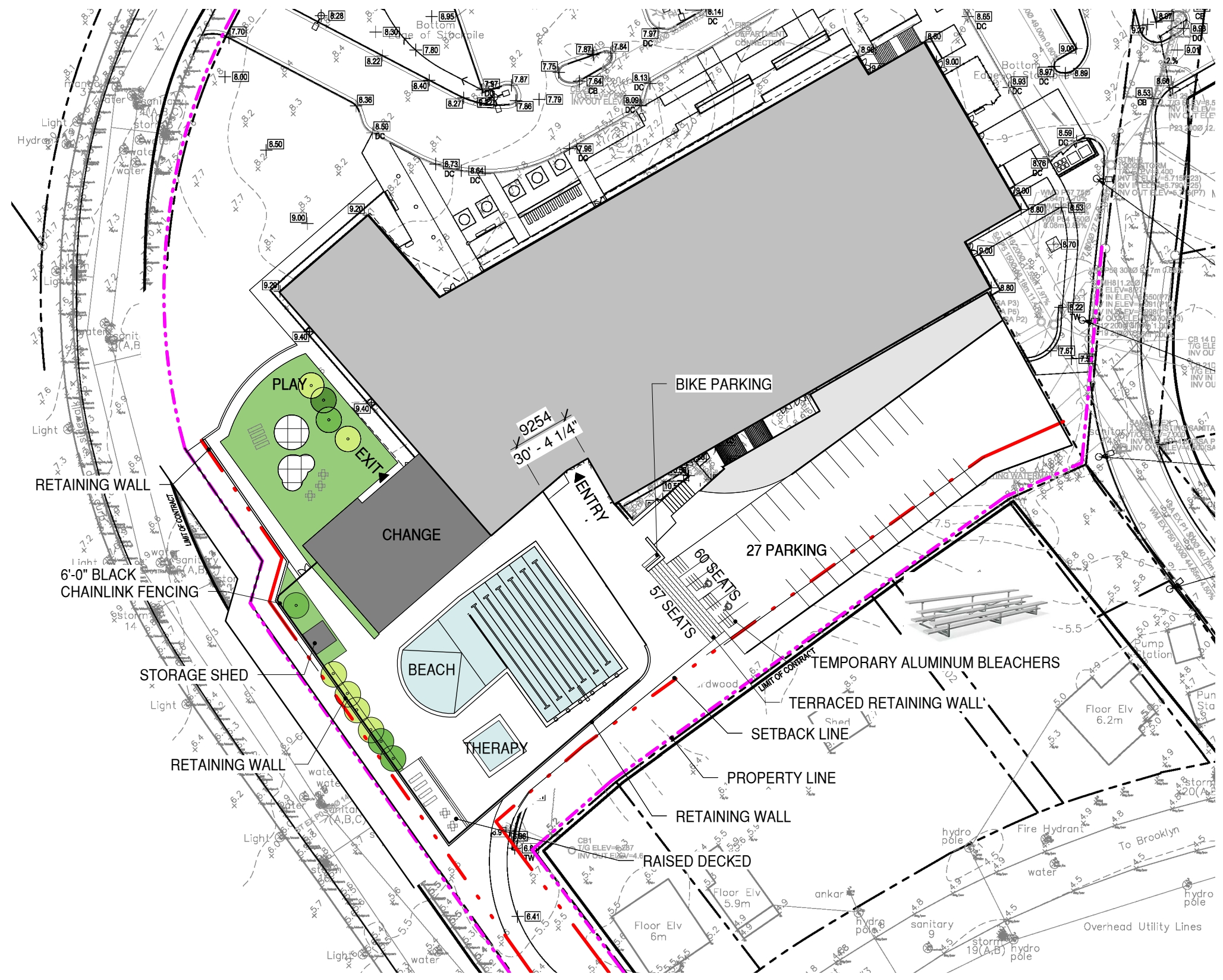
Respectfully,

Deborah Spartinelli

Chair of the Region of Queens Pool Committee

Diagram 1: Example of grassy tiered seating area.





Region of Queens Municipality Staff Report

7.7

To: Council

From: Adam Grant, P.Eng., Director of Engineering and Public Works

Date: November 14, 2023

Re: SQWWTF UV System Upgrade

Background

The Region of Queens Engineering and Public Works Department operates the South Queens Wastewater Treatment Facility, 140 Hank Snow Drive for the treatment of sanitary wastewater.

Part of the treatment process requires disinfection of wastewater prior to disposal, this is completed with ultraviolet disinfection. The current system is more than 20 years old and replacement parts have been discontinued.

Details

The entire project is included in this year's capital budget at an estimate of \$360,000 + HST which allowed for the procurement of replacement equipment as well as other upgrades to accommodate the new unit. The allowance for this replacement component was \$215,000 + HST. An RFP was issued in October of 2023 on the provincial procurement site and closed on November 3, 2023. One proposal was returned at a price of more than \$302,288 + HST – 40% higher than budgeted.



Applicable Legislation

Section 47 (5) of the *Municipal Government Act* sets out that council may make and carry out a contract, perform an act, do anything or provide a service for which the municipality or the council is authorized by an Act of the Legislature to spend or borrow money.

The project specification states in paragraph 12 of the General Terms and Conditions:

12. The Region of Queens Municipality reserves the right to reject any or all proposals. The lowest or any proposal is not necessarily accepted.

Budget Impacts

Staff will investigate alternative options for completing the project.

Recommendation

THAT the Council of Region of Queens Municipality reject all tenders for Proposal NO. PW11-2023-2024 October 2023.

Communications

A letter noting Council's decision will be made to the one proponent.

Region of Queens Municipality Staff Report

7.8

To: Council

From: Stephanie Sereda, Community Development Coordinator

Date: November 14, 2023

Re: Community Investment Fund: 2023-2024

Background

The Community Investment Fund (CIF) is currently in its fourth year. It was initially approved by Council on November 27, 2019, and amended by Council on January 14, 2020.

Total funding available in the 2023-2024 budget year is \$175,000, in addition to the remainder in reserve.

The deadline for operational funding was January 31, 2023, and all other funds are available for application throughout the year beginning April 1 until all funds have been exhausted.

Details

The request for Council's consideration is a Capital Investment Fund application that has provided a complete application.



Organizations are eligible for Capital Investment Funds under three categories:

- a. Up to twenty-five percent (25%) funding of eligible expenses for new capital community infrastructure, to a maximum of \$250,000;
- b. Up to fifty percent (50%) funding of eligible expenses for alterations or improvements to existing community infrastructure that will prolong the life of the facility at least 10 years or significantly increase usage, to a maximum of \$50,000; or
- c. Up to twenty-five percent (25%) funding of eligible expenses for new capital community infrastructure planning or feasibility studies, to a maximum of \$10,000.

In-kind contributions related to capital investment project(s) are eligible, up to a maximum funding of \$1,000, under the funding provision as set out in each category. All labour rates for in-kind contributions will be considered at \$20.00 per hour.

Hunts Point Community Hall Association Request: \$6,139.05 - Capital Upgrade

Hunts Point Community Hall Association is requesting support to replace the roof of their facility. The total eligible project costs for the roof installation are \$10,278.10. The recommendation is to fund the amount as requested. All required documentation was provided, and the funding application meets all of Policy 11 – Community Investment Fund's criteria, under section (b) of the Capital Investment Funds category, for funding up to fifty percent (50%) of eligible expenses. This request also factors in their in-kind expenses, of which fifty percent (50%) is eligible, to a maximum of \$1,000.


Applicable Legislation

Municipal Government Act (MGA) authorizes Council to expend money under:

Authorized municipal expenditures

65A (1) Subject to subsections (2) to (4), the municipality may only spend money for municipal purposes if:

- (a) the expenditure is included in the municipality's operating budget or capital budget or is otherwise authorized by the municipality;

- 
- (b) the expenditure is in respect of an emergency under the *Emergency Management Act*; or
 - (c) the expenditure is legally required to be paid.

(5) In the event of ambiguity in whether or not the municipality has the authority under this or any other Act to spend money or to take any other action, the ambiguity may be resolved so as to include, rather than exclude, powers the municipality had on the day before this Section came into force.

Budget Impacts

This report is seeking approval to expend money from Community Investment Fund budget line. All funding will be distributed as per guidelines set out in Operational Policy 11 – Community Investment Fund.

Recommendation

That the Council of Region of Queens Municipality provide grant funding to the Hunts Point Community Hall Association in the amount of \$6,139.05 from the 2023-2024 Community Investment Fund.

Communications

The funding applicants will be notified of a decision following Council. Approved applicants will be included in the 2023-2024 Grant Disclosure per Policy 89.

Region of Queens Municipality Staff Report

8.1

To: Council

From: Mallory Plummer, Manager of Finance

Date: November 14, 2023

Re: Financial Review Quarter Two

Background

Responsible governance includes a comprehensive review of financial information and performance as compared to budget.

Non consolidated financial statements for the quarter are provided to Council with a staff report containing supplemental information that Finance staff deem significant for Council. Any questions or concerns Council have regarding the statements can be addressed in the meeting by the Director of Corporate Services and the Manager of Finance.


Details

Financial Report – Quarter Two

Revenue Analysis:

Section 1- TAXES

Deed transfer tax budget was set at \$720,000 for the year and as of September 30th we have received \$693,184. While there were fewer sales transactions than previous years, there were several larger transactions in North Queens, and sales



in Port Medway exceeding \$1.2M per purchase. Queens Home of Special Care Society land purchase also contributed to the increase.

Nova Scotia Power Corporation actual is higher than budget. This is set by the province and we did not know it would increase when we created the budget.

Section 2: GRANTS IN LIEU OF TAXES

Grant in lieu for crown timberlands and the remainder of the fire protection grant will not be received until January/February 2024.

Section 4: SALES OF SERVICES

Protective services are monies collected from parking meters.

Tax certificates stand higher than expected, but corresponds to the higher than expected market activity.

Section 5: OTHER REVENUE FROM OWN SOURCES

Building and development permits higher than budgeted.

Return on investments have exceeded the budgeted amount. This is due to the interest rate continuing to increase and fully utilizing our Investment Policy.

Since tax bills are forgiven interest if paid before June 30th, it is expected to see larger amounts in penalties and interest during July and August, but because our collections process works so well there is a huge decrease in September interest.

Included in Miscellaneous revenue is an unsightly claim moved from being posted as an expense to forming a lien on the property, thus no longer being an expense to the Region, but to the assessed owner. Also included is Efficiency NS Funding for Queens Place, FOIPOP requests and copier revenue from the library.



Section 7: CONDITIONAL TRANSFERS FROM FEDERAL & PROVINCIAL GOVERNMENT

Recreation NS Equipment Loan support of \$6,862 for an adapted trike that lives at QPEC which can be borrowed by the public.

Section 8: OTHER TRANSFERS

Other transfers include the \$763,008 brought in to operations from deferred revenue. This was received in March 2023 from the Province for Sustainable Services Growth Fund. It is also shown in Section 16 as a transfer to the capital fund for Waterloo project.

Expenditures:

Expenditures are expressed as a percentage of annual budget, therefore those that are recorded at the beginning of the year will be close to 100% of budget rather than 50% for the second quarter.

Section 9 - GENERAL GOVERNMENT SERVICES

Travel – Council related is all mileage expense for meetings claimed by Councillors.

Financial management- interim billings from Grant Thornton for work on audit, extra work had to be completed this year for the new ARO reporting standards.

Taxation - Reduced Taxes is our low-income tax exemption. By implementing the tiered system, we have been able to reach more residents.

Tax sale costs were recovered in October when the tax sale was held.

Other- includes \$21,000 for legal services, \$16,800 for Asset Retirement Obligations project paid to AECOM, \$32,000 for CAO search and over \$20,000 on evaluation for lift station capacity.

Other general government services: Other- RQM scholarships and \$38,000 paid to Queens County Transit.

Section 10 - PROTECTIVE SERVICES

Fire fighting force more than 50% because grants are paid 50% in the first installment, 20% in the second installment which went out in July.

Fire station building expense includes over \$80,000 for repairs and maintenance. This consist of new radiators which were carried forward from last years budget, insurance claim deductible for water damage to floor and unplanned maintenance due to a failure of their water lateral.

Section 11 – TRANSPORTATION SERVICES

Small tools and equipment include the upgrade of a scan tool which had surpassed its useful life and safety equipment purchased for EPW staff.


Works garage renovations total \$101,000 which include electrical, insulating, heating, washrooms, office furniture and making use of space for offices to accommodate the new positions approved by Council. The amount budgeted was \$70,000 but we have noticed significant increases in quotes received at the time of budget preparation to project completion. Included in general maintenance was the replacement of heaters for the garage.

The main contributors to roads and streets budget include the Liverpool Bridge Sidewalk Redesign (\$175,000), Snow Removal (\$115,000) and Asphalt Paving (\$266,696), all of which have incurred minimal expenses to date, which is why the budget percentage appears off.

Section 12 – ENVIRONMENTAL HEALTH SERVICES

Sewage Collection treatment and disposal administration is insurance cost.

Sewer Treatment Plant Operations required the purchase of two unbudgeted pumps which cost over \$26,000 but are essential to operating the sewage collection systems.



Wastewater Collection Maintenance has exceeded the budgeted amount by over \$22,000 due to the cost of a new connection in Milton. Staff are currently working on updates to the sewer bylaw which will remove this expense from the general rate payers who are not receiving wastewater services.

Leachate Management costs under landfill expense are at 80% of budget. Expenses are highly influenced by weather. Staff shortage has required increased operating costs in overtime to compensate.

Recycling costs are down due to staffing shortages and no overtime requirements due to the temporary shut down of the MRF Facility.

Section 14 - ENVIRONMENTAL DEVELOPMENT SERVICES

Environmental Planning and zoning administration are under budget due to vacant staffing positions. We are currently advertising for two positions in this department.

Other- Accessibility projects are still being developed therefore there has been minimal funds spent of the \$100,000 budget.

Tourism and Economic Development are showing under budget as the \$1,000,000 HVAC Project is in the early stages.

Section 15 – RECREATION AND CULTURAL SERVICES

Swimming pools are not closer to 100% of the budget as would be expected due to early closure of Milton Pool. There will be additional expenses to come to stabilize Milton pool for the winter period.

Parks and Playgrounds includes purchase of 2023 Gator Dump Trailer for \$18,800 and unbudgeted purchase of 2017 Subaru for \$26,000.



Section 16 – FISCAL SERVICES

Budgeted transfers from reserve: Sidewalk Reserve, First Responders, Landfill Equipment, General Equipment, and 2nd generation Landfill.

HILLSVIEW ACRES

New revenue line added for non resident associated funding. This amount includes funding for the completion of the washroom renovation, tub room renovation and exterior doors.

Building expense is also over budget but is offset by the funding mentioned above.

Recruitment and Retention bonuses of \$114,000 included in Salaries and Benefits and in Other Funding Sources.

UTILITY

Interest revenue much higher than budgeted for due to the interest rate rising and fully utilizing our investment policy.

Water treatment expenses higher than budgeted as chemicals are at 96% of budgeted amount, process equipment costs increased, and facility repairs and maintenance over budget due to unexpected damage. Some expenses are expected to be recovered through insurance. Operating costs will continue to be overbudget due to staff shortages and use of contractors for the interim.

Budget Impacts

Any forecasted impact on budget is included in this staff report.

Communications

The report will be included in the meeting minutes.

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

REVENUE:	F2023		
	ACTUAL	Budget %age	BUDGET
I. TAXES			
Assessable property			
Residential	\$ 10,313,831	100.87%	\$ 10,224,768
Commercial	1,798,891	102.32%	1,758,107
	<u>12,112,722</u>		<u>11,982,875</u>
Resource			
Taxable assessments	892,954	100.16%	891,559
Forest property tax (less than 50,000 acres)	29,378	99.64%	29,485
Forest property tax (50,000 acres or more)	111	77.76%	143
	<u>922,444</u>	100.14%	<u>921,187</u>
Area rates			
Protective services	202,540	100.73%	201,080
Transportation services	1,560,592	102.20%	1,527,037
Other	86,609	100.68%	86,024
	<u>1,849,740</u>	101.96%	<u>1,814,141</u>
Special assessment			
Environmental health service	<u>279,653</u>	50.04%	<u>558,850</u>
Other			
Recovered - Tax sale	-	0.00%	36,200
Change of use	-	0.00%	-
Deed transfer tax	693,184	96.28%	720,000
	<u>693,184</u>	91.67%	<u>756,200</u>
Based on revenue:			
Aliant	45,361	94.50%	48,000
Nova Scotia Power Corporation	1,049,181	114.48%	916,495
Nova Scotia Power Corporation-HST rebate	45,588	87.84%	51,896
	<u>1,140,130</u>	112.17%	<u>1,016,391</u>
Conditional transfers to other government Agencies			
Correctional services	(86,836)	46.71%	(185,899)
Deficit of Regional Housing Authority	-	0.00%	(120,000)
Appropriation to SS Regional Center for Education	(1,635,915)	50.00%	(3,271,831)
	<u>(1,722,751)</u>	48.15%	<u>(3,577,730)</u>
	<u>\$ 15,275,122</u>	113.38%	<u>\$ 13,471,914</u>

**REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023**

	F2023		
	ACTUAL	Budget %age	BUDGET
2. GRANTS IN LIEU OF TAXES			
Federal Government	\$ 59,864	99.69%	\$ 60,050
Provincial Government			
Provincial property	20,911	27.53%	75,943
Crown timberlands	-	0.00%	147,945
Fire protection	9,466	34.41%	27,506
	<u>30,376</u>	12.08%	<u>251,394</u>
	<u>\$ 90,241</u>	28.97%	<u>\$ 311,444</u>
3. SERVICES PROVIDED TO OTHER GOVERNMENTS			
Local Governments			
Environment health services-landfill	<u>\$ 1,188,095</u>	52.34%	<u>\$ 2,269,832</u>
4. SALES OF SERVICES			
Protective services	\$ 7,468	62.23%	\$ 12,000
Environmental health services	467,650	52.55%	889,984
Other - Tax Certificates	8,200	68.33%	12,000
	<u>\$ 483,318</u>	52.88%	<u>\$ 913,984</u>
5. OTHER REVENUE FROM OWN SOURCES			
Licenses and permits	\$ 38,545	66.92%	\$ 57,600
Fines	16,506	63.48%	26,000
Rentals	143,223	56.56%	253,224
Return on investments	134,858	112.38%	120,000
Penalties and interest	82,706	64.11%	129,000
Revenue collected on behalf of others	44,212	91.62%	48,254
Less: Disbursement of collected revenue above	(44,212)	91.62%	(48,254)
Queens Place	274,733	59.11%	464,745
Recreation Program Revenue	39,524	54.14%	73,000
Miscellaneous	44,709	131.89%	33,900
	<u>\$ 774,804</u>	66.94%	<u>\$ 1,157,469</u>

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

	F2023		
	ACTUAL	Budget %age	BUDGET
6. UNCONDITIONAL TRANSFERS FROM OTHER GOVERNMENTS			
Provincial Government			
Service Nova Scotia & Municipal Relations			
Assessment Act, farm property acreage	\$ 13,748	106.33%	\$ 12,930
Municipal Grants Act-equalization	608,618	50.00%	1,217,236
	<u>\$ 622,366</u>	50.59%	<u>\$ 1,230,166</u>
7. CONDITIONAL TRANSFERS FROM FEDERAL & PROVINCIAL GOVERNMENTS OR AGENCIES			
Federal Government - Other	\$ 3,360	100.00%	\$ 3,360.00
Provincial Government	56,862	88.85%	64,000
Environmental Health Services:			
Garbage & refuse collection & disposal	-	0.00%	66,000
Other Provincial Funding:			
RRFB - Waste Separation Funding	-	0.00%	10,500
Civic number grant	-	0.00%	4,620
	<u>\$ 60,222</u>	40.56%	<u>\$ 148,480</u>
8. OTHER TRANSFERS			
Transfer from other fund:			
Surplus of Other Years		0.00%	998,940
Special Operating Reserve	786,276	60.40%	1,301,862
Special Capital Reserve	-	0.00%	73,000
Special Equipment Reserve (Fire Dept)	-	0.00%	201,096
	<u>\$ 786,276</u>		<u>\$ 2,574,898</u>
TOTAL REVENUE:	<u>\$ 19,280,444</u>		<u>\$ 22,078,187</u>

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

EXPENDITURES:	F2023		
	ACTUAL	Budget %age	BUDGET
9. GENERAL GOVERNMENT SERVICES			
Legislative			
Remuneration - mayor	\$ 23,484	50.00%	\$ 46,967
Remuneration - council	81,451	49.36%	165,017
Other			
Travel - Council related	4,722	94.44%	5,000
Other Council	5,382	26.51%	20,300
	<u>115,039</u>	<u>48.48%</u>	<u>237,284</u>
General administration			
Administration	577,246	43.50%	1,326,911
Financial management	15,131	59.34%	25,500
Bank charges	1,715	38.98%	4,400
Taxation			
Administration	32,908	48.04%	68,501
Tax billings	15,566	100.43%	15,500
Assessment Services	154,926	50.00%	309,853
Appeals Prior year	-		-
Reduced taxes	102,596	82.04%	125,050
Tax sale	15,204	67.57%	22,500
Common services	118,899	45.77%	259,798
Other	92,466	27.23%	339,620
	<u>1,126,657</u>	<u>45.11%</u>	<u>2,497,633</u>
Other general government services			
Conventions	18,763	41.93%	44,750
Insurance	1,120	100.00%	1,120
Grants to organizations	95,422	54.53%	175,000
Other	51,121	66.61%	76,746
	<u>166,426</u>	<u>55.92%</u>	<u>297,616</u>
Valuation allowance			
Uncollectible taxes	297	2.97%	10,000
	<u>297</u>		<u>10,000</u>
	<u>\$ 1,408,419</u>	<u>46.29%</u>	<u>\$ 3,042,533</u>

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

	F2023		
	ACTUAL	Budget %age	BUDGET
10. PROTECTIVE SERVICES			
Police protection			
Administration-prosecution fees/DNA testing	\$ 2,702	12.60%	\$ 21,451
Crime investigation, prevention and protective service:	1,309,718	49.89%	2,625,315
	<u>1,312,420</u>	49.59%	<u>2,646,766</u>
Law enforcement			
Building/Fire Inspection	94,903	50.08%	189,500
Bylaw	55,191	41.06%	134,429
	<u>150,094</u>	46.34%	<u>323,929</u>
Fire protection			
Fire fighting force	765,876	68.70%	1,114,851
Fire alarm system	14,582	48.37%	30,150
Water supply and hydrants	100,540	50.00%	201,080
Fire station building	95,121	87.41%	108,824
Other	993	19.86%	5,000
	<u>977,112</u>	66.93%	<u>1,459,905</u>
Emergency measures	<u>33,265</u>	56.47%	<u>58,907</u>
	<u>\$ 2,472,891</u>	55.08%	<u>\$ 4,489,507</u>
11. TRANSPORTATION SERVICES			
Common services			
Administration	\$ 667,469	49.04%	\$ 1,361,007
Equipment operations	275,465	48.65%	566,200
Small tools and equipment	30,768	68.37%	45,000
Works/Storage garages	149,677	88.21%	169,686
Insurance	2,501	96.76%	2,585
Staff training	7,777	77.77%	10,000
	<u>1,133,657</u>	52.62%	<u>2,154,478</u>
Road transport			
Roads and streets	274,084	25.76%	1,063,805
Street lighting	121,218	43.45%	279,000
	<u>395,302</u>	29.44%	<u>1,342,805</u>

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

	F2023		
	ACTUAL	Budget %age	BUDGET
11. TRANSPORTATION SERVICES <i>continued</i>			
Debenture			
Interest	2,679	51.29%	5,222
Principal	14,191	40.13%	35,365
	<u>16,870</u>	<u>41.56%</u>	<u>40,587</u>
Air transportation			
Airport	4,842	41.58%	11,645
	<u>\$ 1,550,671</u>	<u>43.69%</u>	<u>\$ 3,549,515</u>
12. ENVIRONMENTAL HEALTH SERVICES			
Sewage collection and disposal			
Administration	\$ 21,377	84.11%	\$ 25,414
Sewage collection systems	108,875	84.10%	129,463
Sewage treatment and disposal	87,885	40.76%	215,642
	<u>218,137</u>	<u>58.87%</u>	<u>370,519</u>
Debenture			
Interest	10,935	53.22%	20,549
Principal	114,618	87.84%	130,485
	<u>125,553</u>	<u>83.13%</u>	<u>151,034</u>
Garbage and waste collection and disposal			
Administration	62,298	42.67%	145,993
Uncollectible (Recovery) Receivables	-		-
Garbage and waste collection	738,121	47.88%	1,541,568
Landfill	468,923	52.42%	894,614
Special Capital Reserve - closure costs	359,912	44.61%	806,741
Recycling	280,140	35.19%	795,977
	<u>1,909,393</u>	<u>45.63%</u>	<u>4,184,893</u>
Debenture			
Interest	-	0.00%	6,711
Principal	-	0.00%	64,587
	<u>-</u>	<u>0.00%</u>	<u>71,298</u>
	<u>\$ 2,253,083</u>	<u>47.16%</u>	<u>\$ 4,777,744</u>

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

	F2023		
	ACTUAL	Budget %age	BUDGET
14. ENVIRONMENTAL DEVELOPMENT SERVICES			
Environmental planning and zoning			
Administration	150,938	32.76%	460,715
Other	15,505	9.00%	172,267
	<u>166,443</u>	<u>26.30%</u>	<u>632,982</u>
Other environmental development services			
Tourism and economic development	467,126	25.36%	1,841,909
	<u>467,126</u>		<u>1,841,909</u>
	<u>\$ 633,569</u>		<u>\$ 2,474,891</u>
15. RECREATION AND CULTURAL SERVICES			
Recreational facilities			
Swimming pools	\$ 52,863	66.03%	\$ 80,059
Parks and Playgrounds	183,800	59.04%	311,317
Queens Place	557,105	43.54%	1,279,487
	<u>793,767</u>	<u>47.51%</u>	<u>1,670,863</u>
Cultural buildings and facilities			
Historical sites	658	34.62%	1,900
Court House	13,919	54.73%	25,432
Museums	40,412	43.78%	92,304
Regional Library Funding	46,000	50.00%	92,000
TH Raddall Library	27,885	46.53%	59,929
	<u>128,874</u>	<u>47.46%</u>	<u>271,565</u>
Other recreational & cultural services	230,696	44.86%	514,252
Debenture			
Interest	28,279	51.80%	54,588
Principal	158,369	100.00%	158,369
	<u>186,648</u>	<u>87.65%</u>	<u>212,957</u>
	<u>\$ 1,339,985</u>	<u>50.19%</u>	<u>\$ 2,669,637</u>

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023

	F2023		
	ACTUAL	Budget %age	BUDGET
16. FISCAL SERVICES			
Transfers to own reserves, funds and agencies			
Other funds			
Special Operating Reserve	\$ 181,556	56.19%	\$ 323,130
Sustainable Growth Fund for Waterloo	763,008		
Water Utility	-	0.00%	\$ 9,500
Special Equipment Reserve	227,500	38.33%	593,500
	<u>1,172,064</u>		<u>926,130</u>
TOTAL EXPENDITURES:	<u>\$ 10,830,682</u>	49.39%	<u>\$ 21,929,957</u>

**REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED SEPTEMBER 30, 2023**

**HILLSVIEW
ACRES**

	F2023		
	ACTUAL	Budget %age	BUDGET
REVENUE			
Resident care	\$ 808,948	53.09%	\$ 1,523,857
Other funding sources	381,233	980.56%	38,879
	<u>1,190,182</u>	76.16%	<u>1,562,736</u>
EXPENDITURE			
Salaries and benefits	737,408	54.25%	1,359,347
Building	301,277	242.56%	124,208
Supplies and equipment	18,775	25.90%	72,500
Resident care	65,287	47.03%	138,813
Other	14,558	90.42%	16,100
	<u>1,137,304</u>	66.47%	<u>1,710,968</u>
EXCESS OF REVENUE OVER EXPENDITURE OPERATIONS	<u>52,877</u>		(187,111)

REGION OF QUEENS MUNICIPALITY
NON-CONSOLIDATED STATEMENT OF OPERATIONS
FOR THE QUARTER ENDED June 30, 2022

WATER
UTILITY

	F2023		
	ACTUAL	Budget %age	BUDGET
OPERATING REVENUE			
Metered sales	\$ 291,953	50.25%	\$ 581,021
Public fire protection	100,540	50.00%	201,080
Other	10,055	70.31%	14,300
	<u>402,548</u>	50.55%	<u>796,401</u>
OPERATING EXPENDITURE			
Source of Supply	6,215	48.48%	12,821
Water treatment	287,188	69.40%	413,842
Transmission and distribution	130,858	46.55%	281,107
Administration	55,796	59.19%	94,272
Amortization	-	0.00%	120,000
	<u>480,058</u>	52.06%	<u>922,042</u>
OPERATING SURPLUS (DEFICIT)	<u>(77,510)</u>	61.69%	<u>(125,641)</u>
NON OPERATING REVENUE			
Interest	9,848	656.53%	1,500
Other	-		-
	<u>9,848</u>	656.53%	<u>1,500</u>
NON OPERATING EXPENDITURE			
Debenture			
Interest	3,188	51.96%	6,136
Principal	29,691	68.38%	43,423
	<u>32,879</u>	66.34%	<u>49,559</u>
NON OPERATING (DEFICIT) SURPLUS	<u>(23,031)</u>	47.92%	<u>(48,059)</u>
EXCESS EXPENDITURES OVER REVENUE	<u>\$ (100,541)</u>	57.88%	<u>\$ (173,700)</u>

Region of Queens Municipality Staff Report

8.2

To: Council

From: Adam Grant, P.Eng., Director of Engineering and Public Works

Date: November 14, 2023

Re: Town Hall Arts and Cultural Center HVAC Study

Background


The former Town Hall Arts and Cultural Center, 219 Main Street, Liverpool utilizes a pair of oil-fired hot water boilers to provide radiant heat but does not offer any means of cooling or ventilation through the facility. In March of 2023, Dumac Energy Ltd. Was hired to undertake an HVAC assessment for the facility.

Details

The assessment involved looking at the current construction of the Facility and operational conditions with respect to current heating loads, as well as potential heating, cooling and ventilation options for the site that wouldn't impair the performing arts.

Dumac has recommended a packaged system to serve the theatre area with four ERV systems for the rest of the facility. The selection of equipment was based on load requirements with a sensible solution that maintains the interior and exterior architecture and esthetics of the historic site.

Annual operating costs are provided for comparison purposes. It was calculated that the new system would generally save heat energy costs during the winter season but overall will cost more to operate with the provision of cooling energy and ventilation throughout the facility.



Opinion of Probable cost for the mechanical equipment supply and installation is proposed at \$572,000 but does not include the required design costs as well as architectural and structural accommodation. Dumac has also recommended that the electrical entrance be replaced and relocated as the current location does not have capacity to accommodate the equipment and is not compliant with current requirements, the proposed cost for this work is \$120,000. The Capital Investment Plan includes \$1.500 million for 2024-2025 to install a HVAC system at this site.

This report has been shared with the Astor Theatre Society and comments received back. The group is also working on securing funding from other levels of government to see the project advance.

Applicable Legislation

N/A

Budget Impacts

N/A

Discussion

Staff are requesting direction from Council if they wish to proceed to the design phase. A design estimate will be generated and brought forward to Council for decision.